

Agenda Item 3
McKinley Road Redevelopment – Final Phase
Demolition and New Construction

- Staff Report
- City Attorney Memorandum
- Vicinity Map
- Background Materials
 - Historic Resource Evaluation – 373 E. Westminster
 - Structural Comment Letter – 373 E. Westminster

Materials Submitted by Petitioner

Application

Statements of Intent

Site Plan - Revised

North and South Elevations

- As Presented in June
- With Changes Annotated
- Enlarged Detail
- As Now Proposed

West Elevation

- As Presented in June
- With Changes Annotated
- As Now Proposed

East Elevation

- As Presented in June
- With Changes Annotated
- As Now Proposed

Roof Plan

- Landscape and Active Areas Identified
- Height Detail – Parapet Wall, Stairway Enclosure

Streetscape Comparisons – from June packet

Spacing

Front Façade Width

Height

Renderings – Revised Design

For Information Only

Concepts – Site Plan and Elevations – Future Residence at 373 E. Westminster

Correspondence Received

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grieve and members of the Historic Preservation Commission
DATE:	July 12, 2021
FROM:	Catherine Czerniak, Director of Community Development Jen Baehr, Assistant Planner
SUBJECT:	McKinley Road Redevelopment Phase Three – Demolition and New Condominium Building

PROPERTY OWNERS

City of Lake Forest
220 Deerpath
Lake Forest, IL 60045

PROPERTY LOCATION

South of E. Westminster, east of
McKinley Road

HISTORIC DISTRICTS

East Lake Forest Local and
National Historic Districts

CONTRACT PURCHASER

361 Westminster LLC (Todd Altounian 50%, and Peter Witmer 50%)
1000 N. Western Avenue
Lake Forest, IL 60645

PROJECT REPRESENTATIVE

Peter Witmer, architect

ACTIVITY TO DATE ON THIS PETITION

January and February 2020

The Commission considered this petition in January and February, 2020. A three story condominium building was presented at those meetings. At the January meeting, the Commission voted to continue the petition and directed the developers to provide further information and consider modifications in response to comments offered by the Commission. In summary, at the January, 2020 meeting, the Commission offered the following comments and direction on various aspects of the design of the building.

- Conduct further study of the overall massing and height of the building.
- Simplify and refine the various architectural elements to align with the selected architectural style.
- Refine the design to reflect the selected architectural style consistently on all sides of the building.
- Conduct further study of the windows and dormers on the west elevation.
- Conduct further study of the mansard roof detailing to soften the appearance of the building.
- Conduct further study of the architectural detailing in an effort to relate the building more closely to the two earlier buildings.
- Provide more specific information on the height of the building and distances from the surrounding homes.

As a follow up to the January, 2020 meeting, the petitioners presented revised plans to the Commission in February, 2020. The plans reflected the following changes in response to the Commission's discussion and direction at the meeting the month before.

- Overall, the west elevation was simplified and refined to more closely relate to the previously approved buildings in the first two phases of the development.
- The center mass and roof form of the building were modified.
- The window openings and proportions were refined.
- The stacked bay windows were removed.
- The arched dormers were removed and replaced with shed dormers.
- The east elevation was further articulated to relate more closely to the other elevations of the building and to provide relief and human scale.

At the February meeting, after a presentation, public comment and Commission deliberation, the Commission voted to deny the petition citing concerns about the height of the building, the overall size of the building, and inconsistencies in the design with the chosen architectural style. The Chairman observed that some of the concerns raised by the Commission appeared to be outside of the purview of the Commission. As a follow up to the denial of the petition by the Commission, the petitioners filed an appeal of the decision with the City Council but decided that rather than pursue an appeal, they would re-think the project.

After the February, 2020 meeting, the petitioners explored whether the project could be feasible with a two story building. Importantly, earlier approvals of the overall multi-building development require that underground parking be provided necessitating a minimum number of units to make the project feasible. Ultimately, the petitioners, for several reasons, including the opportunity to widen a portion of the building to accommodate the same number of units in a two story form as in the previously proposed three story building, and the opportunity to address longstanding drainage issues, decided to pursue the purchase of the neighboring property at 373 E. Westminster. After acquiring the property, the site plan was revised to reflect the modified footprint of the now proposed two story building and the design of the building reverted back to the original design and is now consistent with the previously approved design of the two buildings in the earlier phases of the development. The two existing buildings provide a real life mock-up of the architectural details and exterior materials.

June 3, 2021

At the June 2021 meeting, the petitioners presented plans for a two story condominium building to the Commission. In April, 2021, the City Council approved the consolidation of the western 38 feet of the 373 E. Westminster property into the development site. After a presentation from the petitioner, questions from the Commission, public testimony and Commission deliberations, the Commission voted 7 to 0 to continue consideration of the petition. At the direction of the Chairman, the Commission agreed that a continuance was only appropriate if refinement, rather than a complete redesign, could potentially address the questions, comments and concerns raised by the Commission.

The motion to continue the petition at the June, 2021 meeting included the following direction to the petitioner and staff.

- Conduct further study and refine the plans with particular attention and response to the following Standards.
 - Standard 1: Height
 - Standard 2: Proportion of Front Façade
 - Standard 5: Spacing on the Street
 - Standard 8: Roof Shapes
 - Standard 9: Walls of Continuity.
 - Standard 10: Scale.
 - Standard 11: Directional Expression of Front Elevation
 - Standard 14: Compatibility
- Refine the scale and design of the north elevation to appear more as a front façade.
- Submit a request for re-approval of the demolition of the 373 E. Westminster residence as part of the petition.
- Provide a conceptual plan for a new residence on the remaining portion of the 373 E. Westminster property.

In addition to the conditions specifically addressed in the Commission’s motion, staff also identified the following additional questions and comments which were offered as part of the Commission’s deliberations.

- Provide detail on the location and size of the active use areas on the roof.
- Provide detail on the height of the roof, the parapet wall, elevator over run and the stair enclosure, also referred to as a penthouse. (To clarify, there is not living space in the penthouse, only access to the stairway.)
- Consult the City Attorney on the process for re-approving the demolition of the residence on the 373 E. Westminster property and the timing for consideration of the second replacement structure, a new residence on the remaining portion of the 373 E. Westminster property. (A memorandum from the City Attorney is included in the Commission’s packet. Although attorney communications are often confidential, because questions about the demolition and timing for review of a new residence were raised by members of the public, the opinion is included as part of the packet.)

PRESENT REQUEST

Demolition – Residence at 373 Westminster

As directed by the Commission, a request for re-approval of the demolition of the residence at 373 E. Westminster is now included in this petition.

In June 2016, the Commission voted 6 to 0 to grant a Certificate of Appropriateness to the then owners of the 373 Westminster property approving the demolition of the existing residence based on a determination that the criteria for demolition were satisfied. The minutes from that meeting reflect that there were no questions or discussion on the part of the Commission about the demolition, only comments indicating support for the demolition. There was no public comment on the demolition request. The Commission approved the demolition request by a vote of 6 to 0. At that time, the Commission also approved a replacement residence. The prior owners never proceeded with the approved project. The prior approvals have lapsed and the property is now under new ownership.

The new owners are requesting re-approval of the demolition of the residence in conjunction with approval of the third and final condominium building of the McKinley Multi-Family Residential Development. As approved by the Council, the development site for the third phase of the McKinley development incorporates the western 38 feet of the 373 E. Westminster property. The residence is proposed to be replaced with two structures, in the short term, the currently proposed condominium building and in the future, a new single family residence. The new residence is not currently proposed or presented for Commission action.

Included in the Commission's packet, from the previous publicly available packet, is an Historic Resource Evaluation completed by Benjamin Historic Certifications, LLC and a structural review comment letter prepared by Harry E. Marshall, Ltd., structural engineers. The facts surrounding the residence itself have not changed since the reports were prepared. What has changed is the fact that a portion of the site has been approved for incorporation into the McKinley Road development site.

The following findings are presented in support of the re-issuance of a Certificate of Appropriateness approving the demolition of the residence at 373 E. Westminster.

Demolition Criteria 1 -- Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the city and the state.

The residence, although historic, is not architecturally significant and is not a Contributing structure to the Historic District. Its demolition would not be detrimental to the character of the Historic District. As noted by the petitioner's representative during the June 2016 meeting, "The existing residence was constructed in 1963 and lacks the architectural quality of neighboring homes. The house has structural issues due to water damage and seepage and the home has no architectural pedigree that would support preservation. The home is typical of spec houses from the 1960s with a front loaded garage and misaligned windows."

Demolition Criteria 2 -- Whether the property, structure or object contributes to the distinctive historic, cultural, architectural or archeological character of the District as a whole and should be preserved for the benefit of the people of the city and the state.

The residence is identified as a non-contributing structure to the Historic District and is not a unique or well-designed example of the Colonial Revival style.

Demolition Criteria 3 -- Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable District.

Demolition of the residence will not be contrary to the purpose and intent of the Preservation Chapter of the Lake Forest Code based on the findings cited above.

Demolition Criteria 4 -- Whether the property, structure or object is of such old, unusual or uncommon design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

The structure is not of such old, unusual, or uncommon design, texture, or material that it could not

be reproduced without great difficulty or expense. The residence was constructed in 1962 and is not unique architecturally.

Demolition Criteria 5 -- Except in cases where the owner has no plans for a period of up to five years to replace an existing Landmark or property, structure or object in a District, no Certificate of Appropriateness shall be issued until plans for a replacement structure or object have been reviewed and approved by the Commission.

Concurrent with this request for approval of demolition plans for a new condominium building which will be partially on this property are presented for the Commission's consideration.

No additional replacement structures are currently presented for the Commission's approval of planned in the near term.

As noted above, at the request of the Commission, City staff consulted the City Attorney on the question of whether the Commission can properly act on the petition without approving all future potential structures that might be constructed on the 373 E. Westminster property; in addition to the condominium building, a single family house and garage. The City Attorney concluded that the Commission has the ability to act on the petition as now presented, comprised of requests for Certificates of Appropriateness for the demolition of the existing single family residence and the condominium building as the replacement structure. However, any new residence proposed on the property in the future will require a Certificate of Appropriateness from the Commission prior to the issuance of any building permits.

Condominium Building – Design Review

This is a request for a Certificate of Appropriateness for a new, two story condominium building and the associated conceptual landscape and hardscape plans. This property is located in one of the City's Local Historic Districts and therefore, requires design review by the Historic Preservation Commission. Adjacent properties to the north, east and south are also in the Historic District. The adjacent parcels to the west, including the two earlier buildings in this development, are *not* within the Historic District and as a result, the design aspects of those buildings were reviewed by the Building Review Board and based on a positive recommendation from that Board, approved by the City Council.

The building in this petition constitutes the third and final phase of the McKinley Road Redevelopment. The project achieves a long time City Council goal by providing additional living options near the Central Business District, within walking distance to the train station, the Library, restaurants and retail stores. The response from the residents living in the first two buildings has been very positive, the development has created a unique neighborhood which offers a living environment not found elsewhere in Lake Forest.

In response to the Commission's questions, comments, discussion and direction at the June 2021 meeting, and specifically in response to the conditions included in the motion, revisions were made to the plans. Elevations from the June meeting are included in the Commission's packet as well as annotated elevations illustrating the changes that were made and clean copies of the elevations as now presented to the Commission for action.

In particular, the revisions establish the north elevation as a second front to the building by adding an entrance as specifically suggested by the Commission. Overall, the details and materials of the building were modified to step the building down not only in height but also in detail and prominence to allow it to fit more quietly into the Historic District and to transition more unobtrusively into the residential neighborhood. The third building as now presented as “a cousin” of the two earlier buildings, related, but distinguished recognizing that this building does not have frontage on McKinley Road and recognizing its adjacency to single family residential homes.

- North Elevation Revisions
 - The screen porch was eliminated.
 - A front entry was added detailed with wood surrounds, a metal railing and a stone step in direct response to direction to identify the north elevation as a front of the building.
 - Some of the limestone detail was removed to soften the character of the building.
 - The landscaping was adjusted to highlight the new entry.
 - A crushed stone walkway to the front entry from the west was added.
 - Brick detailing was added.

- West Elevation Revisions
 - The screen porch at the south end was eliminated and replaced with a smaller entry porch.
 - French doors were eliminated and replaced with double hung windows with the exception of doors needed for stair egress.
 - The center bay was recessed to break the building visually into two parts.
 - A front entry element was added at the recessed center bay.
 - Windows in the roof top stair enclosures were eliminated.
 - Trees were added on either side of the new entry element.

- East Elevation Revisions
 - A total of 18 windows were eliminated along the elevation to minimize light impacts.
 - Windows in the roof top stair enclosures were eliminated.
 - The stone cornice was eliminated to soften the elevation.

- South Elevation Revisions
 - As noted above, the screen porch on the west was replaced with a porch.

- Overall – Material Changes
 - The brick detailing at the window spandrels was refined.
 - The stone heads above the doors and windows were eliminated and replaced with brick soldier courses.
 - The stone cornice on the east elevation was replaced with a brick cornice.

Site Plan

The proposed condominium building is located at the east end of the new road that enters the development from McKinley Road and provides a visual terminus to the road. The fronts of the building face north and west. The building is set back from Westminster to minimize the appearance of mass along the streetscape as the area transitions into single family residential

properties. The setback provides ample space for a landscaped front yard consistent with the pattern of development along Westminster as it continues to the east. Access to underground parking is from the west, from the existing alley, setback from Westminster and screen with vegetation. A green space accessible to the public is located to the south of the building, with a sidewalk connection to the Library.

Findings on 17 Standards

A staff review of the applicable standards in the City Code is provided below. Findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

This standard is met. A height variance was granted for the first and second buildings in the development, the three story buildings which are 40 feet at the parapet. The two story building fully complies with the allowable height of 35 feet. No variance is requested.

- The height of the roof deck is 24'-6".
- The height at the top of the parapet, above the roof deck, is 28 feet. The parapet wall fully screens the residential scale air conditioner units and the elevator override.
- The top of the stair enclosure or penthouse is 33'-6". The stair enclosures are located away in the center of the building, away from the edge of the building.

The two story building provides a transition from the taller condominium buildings to the west to the single family homes to the east.

The petitioner provided graphics that reflect the height of the proposed building in relation to the surrounding homes and buildings.

Standard 2 – Proportion of Front Façade.

This standard is met. The proportions of the front façades, particularly the north façade, reflect a residential scale. The width of the façade along Westminster is not dissimilar to some of the single family homes along the street and is now articulated with a front entry that includes a portico element. On the west elevation, the center bay is recessed to break up the building visually into two parts, allowing the north and south ends to read as different volumes.

Standard 3 – Proportion of Openings.

This standard is met. There is a regular pattern of openings French doors and double hung windows around the building. The openings follow a regular pattern and are aligned between levels on all elevations. Doors with sidelights and transoms are proposed on the north and west elevations, appropriate for the front entries. The entrances into the individual units are distinguished from the shared entrance into the elevator vestibule.

Standard 4 – Rhythm of Solids to Voids.

This standard is met. The elevations present evenly spaced and aligned openings between the first and second floors. Since the last meeting, 18 windows were eliminated from the east elevation, in private interior spaces, allowing the elevation to present more solid areas along the facade. The entry porches on the north and along the west elevation as well as the porch at the southeast corner present open elements that break up the appearance of mass of the building.

Standard 5 – Spacing on the Street.

This standard is met. The proposed building is set back from Westminster consistent with the spacing of the single family homes along the streetscape. At the closest point, the two story building is sited 61 feet from the north property line, the open porch element is 56' from the front property line. The secondary mass on the west side of the building, closest to the neighboring home, is 93' from the front property line.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. The front entries on the north elevation and along the west elevation are detailed with elements such as round columns, entablatures, sidelights and transoms, helping to reinforce the residential appearance of the building and bringing a human scale to the design.

Standard 7 – Relationship of Materials and Texture.

This standard is met. The exterior is comprised of high quality and natural materials. Brick is proposed for the primary façade material with stone accents. The stone accents are lessened on this building in comparison to the first two buildings to soften the building and allow it to fit more quietly into the surrounding residential neighborhood. A stone cap is proposed for the parapet walls. Aluminum clad windows with interior and exterior muntins are proposed. Metal railings are proposed. Wood panels are proposed in some areas between openings on the first and second floors and at the entrances. For durability, the columns are proposed as a painted composite material.

Standard 8 – Roof Shapes.

This standard is met. The building features a flat roof enclosed by a parapet wall, identical to the first two buildings, at a lower level. The stair enclosure, also referred to as a penthouse, rises 5'-6" above the parapet wall and is sited away from the perimeter of the building.

Standard 9 – Walls of Continuity.

This standard is met. The massing, scale, and architectural detailing are generally consistent on all elevations of the building. The massing and design elements presented on the north elevation are somewhat different from the other elevations in order to relate more closely to the residential Westminster streetscape. The exterior materials and the architectural detailing are identical to the two earlier buildings, unifying the overall development.

Standard 10 – Scale.

This standard is met. The property is in a transitional area and the scale of the building responds to the buildings of various sizes to the north, east, south and west. The attempts to relate to the scale of both the condominium buildings on the west side and the residential area to the east through the use of projecting and recessed elements that break up the mass of the building and employing single story elements such as the entry porticos and screen porch.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. Although the building is addressed on McKinley Road and is approached from the west, off of McKinley Road, it also has street frontage on Westminster. The building is uniquely sited in a manner that requires nods to both the larger buildings to the west and south, as well as the single family homes to the north and east.

A front entry was added to the north facing elevation on Westminster to clearly call out two elevations as the "front" of the building. The two front elevations are detailed with entryways and

are consistent with horizontal expression of the two earlier buildings.

Standard 12 – Preservation of Historic Material.

This standard is not applicable to this request, a new building is proposed.

Standard 13 – Protection of Natural Resources.

This standard is met. Currently, only one tree remains on the site. The tree is proposed for removal. The preliminary landscape plan submitted by the petitioner reflects a number of proposed plantings on all sides of the proposed building. The developer has offered to remove undesirable species of trees on the neighboring property to the east and plant new trees on that property if the owners desire replacement of the existing plantings.

Standard 14 – Compatibility.

This standard is met. The transitional nature of the site requires some balance between the higher density area to the west of the site and the single family residential area to the east and north. The design of the building identifies it as part of a larger, unified development as originally envisioned for this site while at the same time, giving a nod to existing development to the north and east and to the Historic District by reducing the height of the building, modifying some design elements and changing some of the materials. The proposed building incorporates residential and human scale elements such as the front entries.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request, a new building is proposed.

Standard 16 – Surface cleaning.

This standard is not applicable to this request, a new building is proposed.

Standard 17 – Integrity of historic property.

This standard is not applicable to this request, a new building is proposed.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices and to an expanded interested parties list prior to each meeting of the Commission at which this petition was considered. The agenda for this meeting was posted at various public locations and on the City's website. The public testimony received to date in response to the notice provided is included in the Commission's packet.

RECOMMENDATION

Based on the findings detailed above:

- ❖ Grant a Certificate of Appropriateness approving the demolition of the residence and attached garage at 373 E. Westminster subject to the following condition.
 1. Any additional replacement structures, in addition to the condominium building proposed concurrent with the demolition request, shall be presented to the Historic Preservation Commission for review. A Certificate of Appropriateness must be granted prior to the issuance of permits authorizing construction of a new single family residence.

❖ Grant a Certificate of Appropriateness for a new condominium building and the preliminary landscape and hardscape plan subject to the following conditions of approval.

1. Recognizing that drainage is not under the purview of the Commission, the Commission goes on record as emphasizing the importance of careful consideration of grading and drainage plans in the area by the City Engineer as it occurs as part of the standard plan review process. The review should take into account existing drainage problems in the immediate area of this property and take advantage of the opportunity to improve upon the existing situation.
2. Plans submitted for permit must reflect the project as presented to the Commission. If any modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, along with the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
3. Details of all exterior lighting shall be included with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view. All exterior lights shall be set on timers to turn off no later than 11 p.m.

No exterior building or landscape lights are permitted on the east side of the building except safety and security lights that may be required by the Code.

4. All mechanical equipment, on the roof and on the ground, shall be fully screened from view from off of the site.
5. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval. All reasonable efforts shall be made to minimize and manage impacts on the adjacent homes, the surrounding neighborhood, and nearby streets during construction.

On street parking of construction vehicles and contractors is not permitted. It may be necessary for contractors to park off site, in public permit parking lots, to avoid congestion on and near the site. The 7 a.m. start time shall be strictly adhered to, no staging of construction vehicles or activity on public streets or on the construction site is permitted prior to 7 a.m.

6. Prior to the issuance of a building permit, a final landscape plan, drawn in accordance with the approved grading and drainage plan shall be submitted and will be subject to final review and approval by the City Arborist. The plan shall include:
 - a. Sufficient foundation plantings to establish a residential character, pedestrian friendly building entrances and to create privacy for first floor residents.
 - b. Plantings shall be consistent in character, density and quality with the plantings for the phase one and two buildings.

The petitioner is encouraged to talk with the neighboring property owners to the east, if they are willing, to discuss the potential to enhance trees and vegetation on their property, in the area adjacent to the development site.

7. Prior to the issuance of a Certificate of Occupancy for the building, all landscaping shall be planted consistent with the approved plan or, if planting is not possible due to the time of year, a cash bond in the amount of 110% of the cost of the materials and labor must be posted to assure planting consistent with the approved plant in the next planting season.
8. In addition to number six above, prior to the issuance of a Certificate of Occupancy Permit, a landscape maintenance bond shall be submitted to the City in the amount of 10% of the total cost of the landscaping, materials and labor, to assure replacement of trees or vegetation that dies, becomes diseased or fails to thrive during the initial five year maintenance period. The City Arborist shall inspect the plantings each spring and fall for a period of five years after the issuance of a Certificate of Occupancy Permit. (The bond shall be replenished if it is drawn down prior to the end of the five year period.)
9. The petitioner is encouraged to collaborate with the City and neighboring property owners in an effort to underground the remaining utilities near the site.



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MEMORANDUM

To: Lake Forest Historic Preservation Commission
Cathy Czerniak, Director of Community Development

From: Julie Tappendorf, City Attorney

Subject: McKinley – Application for Certificate of Appropriateness

Date: July 6, 2021

At its July 12, 2021 meeting, the Historic Preservation Commission (“*HPC*”) will continue its public hearing on a request filed by 361 Westminster LLC for approval of a certificate of appropriateness to allow (1) the demolition of the existing structure and (2) construction of a replacement structure (multi-family building) at 361 and 373 Westminster (“*Property*”). At its previous public hearing on this application, questions were raised as to whether the HPC is required to review all potential structures that might be constructed on the Property (including any potential construction of a single family home) before the HPC could act on the application that is currently before the HPC.

After reviewing Chapter 155 of the City Code (the City’s historic preservation standards and procedures), there is no requirement that an applicant submit for review and approval all potential structures that may be constructed on a property at the same time. As a result, the HPC has the jurisdiction to act on the pending application for a certificate of appropriateness for the demolition of the existing home and construction of the new multi-family residential building.

Section 155.07(A)(1) requires a certificate of appropriateness before certain actions can be taken that would affect any landmark or structure within a district. These include, among others, the following:

- (a) Any construction of a new residential or commercial building on a vacant lot;
- (b) Any demolition in whole or in part, requiring a permit from the city, which affects the exterior architectural appearance of a structure;
- (c) Any replacement structure constructed in conjunction with approval of a demolition;

The current application requests approval of a certificate of appropriateness for the two actions described in paragraphs (b) and (c). Specifically, the application proposes to demolish the current residential home and construct a replacement multi-family building in conjunction with approval

ANCEL GLINK
July 6, 2021
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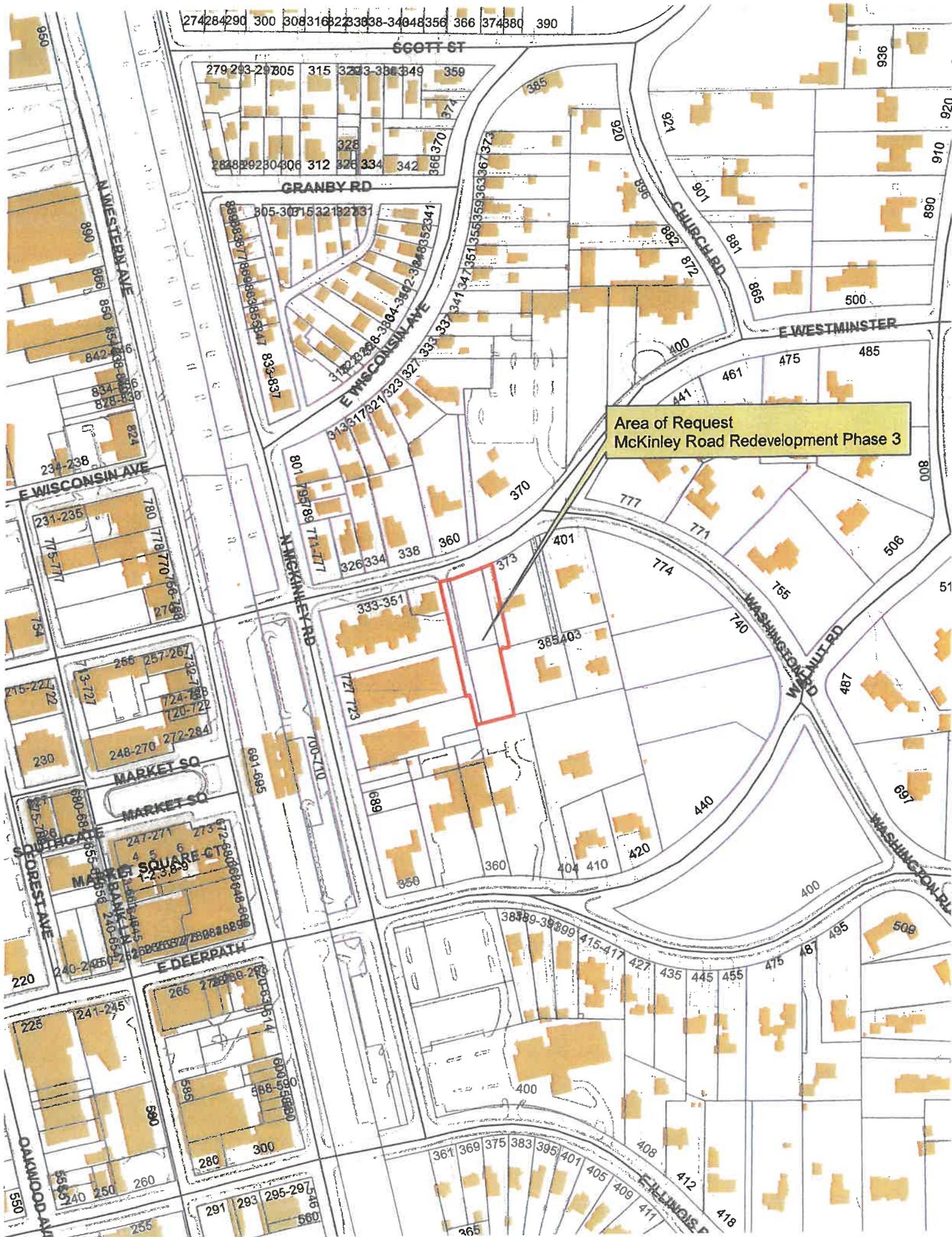
of a demolition. That application has been scheduled for a public hearing before the HPC and is the only application before the HPC for review, consideration, and action.

As I understand it, there has been some reference to and discussion of the construction of a home on one of the lots at some time in the future. However, the construction of a new home is not included in the application before the HPC and, therefore, is not “in conjunction with approval of a demolition.” As a result, any review and discussion of a new home is premature at this time and is outside of the HPC’s jurisdiction, which is to hear, consider, and act on applications that have been scheduled for public hearing under Chapter 155 of the City Code. And, the HPC should not hold up its review, consideration, and action on the current application before the HPC (which seeks to demolish the existing structure under paragraph (b) and to construct a replacement structure in conjunction with approval of a demolition under paragraph (c)).

Of course, the HPC will have jurisdiction to hear, consider, and act on an application for a certificate of appropriateness for a new home when an application has been properly filed and scheduled for a public hearing before the HPC. That application would fall under paragraph (a) as “construction of a new residential or commercial building on a vacant lot” and would be subject to the the standards for review contained in Section 155.08(A) which apply to both replacement structures and to new construction.

A question has been raised as to the application of Section 155.08(B)(5) of the City Code that states that no certificate of appropriateness may be issued until plans for a replacement structure have been reviewed and approved by the Commission. The current application before the HPC seeks approval of both the demolition of the current home and construction of a replacement structure on the Property. Because there is no requirement that an applicant submit plans for all future potential structures in order to receive a decision on an application for demolition and construction of a replacement structure on the Property, the application before the HPC complies with Section 155.08(B)(5) and the HPC has jurisdiction to consider and act on the application currently before it.

In sum, the HPC has the jurisdiction to hear, consider, and act on the application before it, which seeks a certificate of appropriateness to demolish the current home and replace it with a multi-family building. That application should be considered on its own merits by the HPC, without consideration of a future potential application, which would require its own application, hearing, and decision at some future time.



Area of Request
McKinley Road Redevelopment Phase 3

274284290 300 30831622733838-34048356 366 374380 390

SCOTT ST

279-203-20805 315 3203-350 349 359

GRANBY RD

305-3071532192731

N WESTERN AVE

E WISCONSIN AVE

CHURCH RD

E WESTMINSTER

N MCKINLEY RD

WASHINGTON RD

FOREST AVE

MARKET SQ

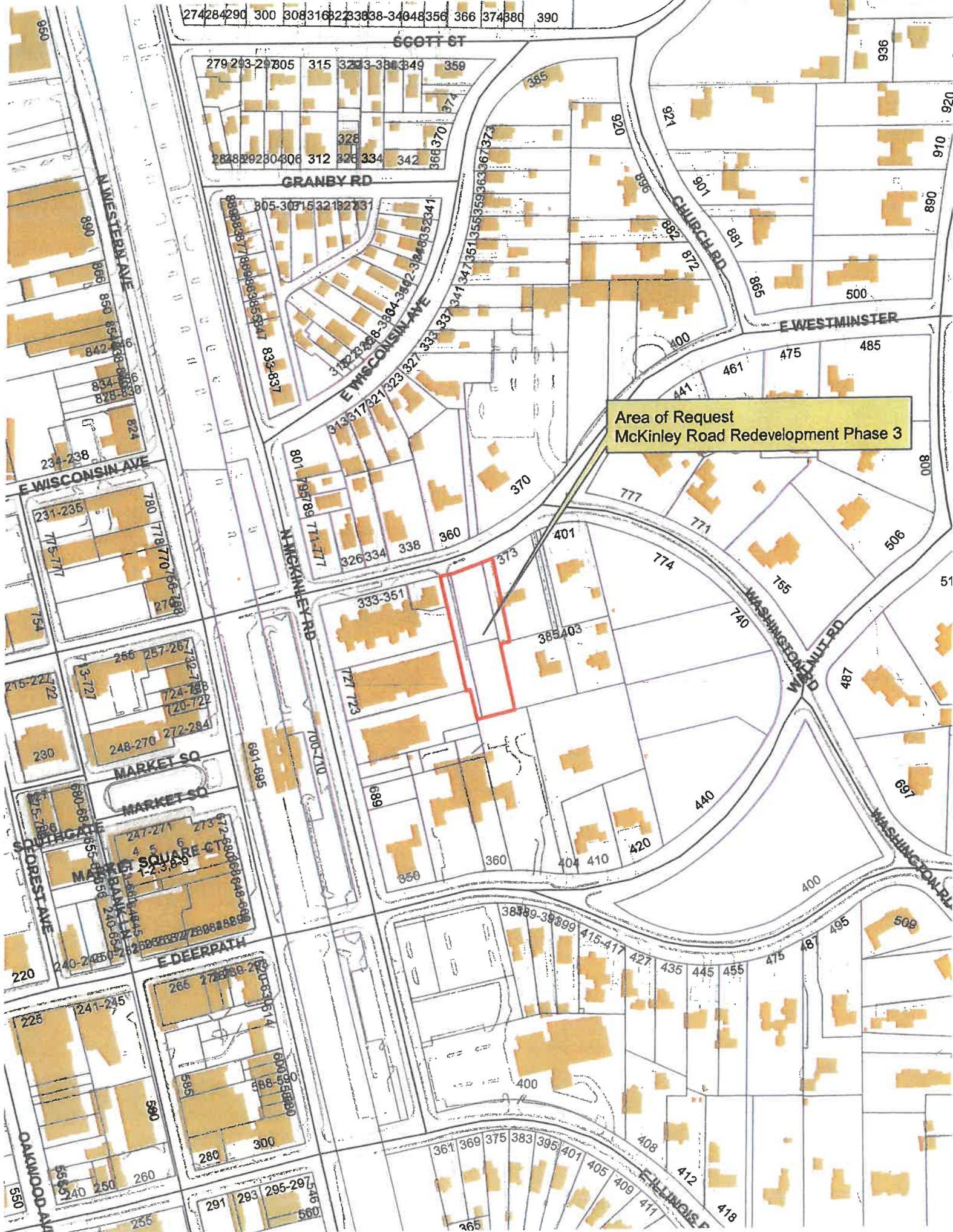
MARKET SQ

MARKET SQUARE CT

E DEERPARK

OAKWOOD AVE

E HILLING AVE



Background Information

HISTORIC RESOURCE EVALUATION:



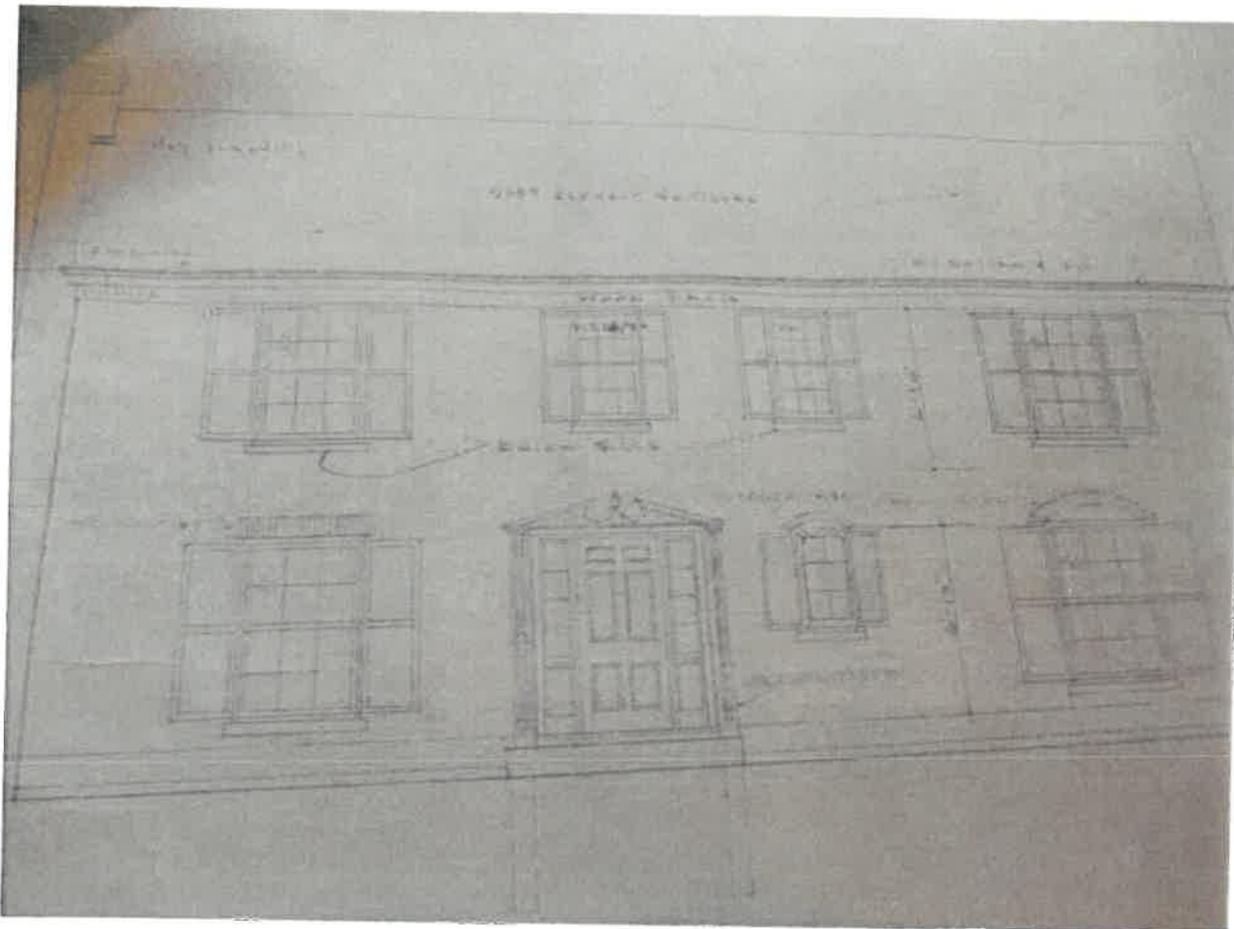
373 East Westminster, Lake Forest, Illinois

Susan S. Benjamin, September 23, 2015



History of the Property

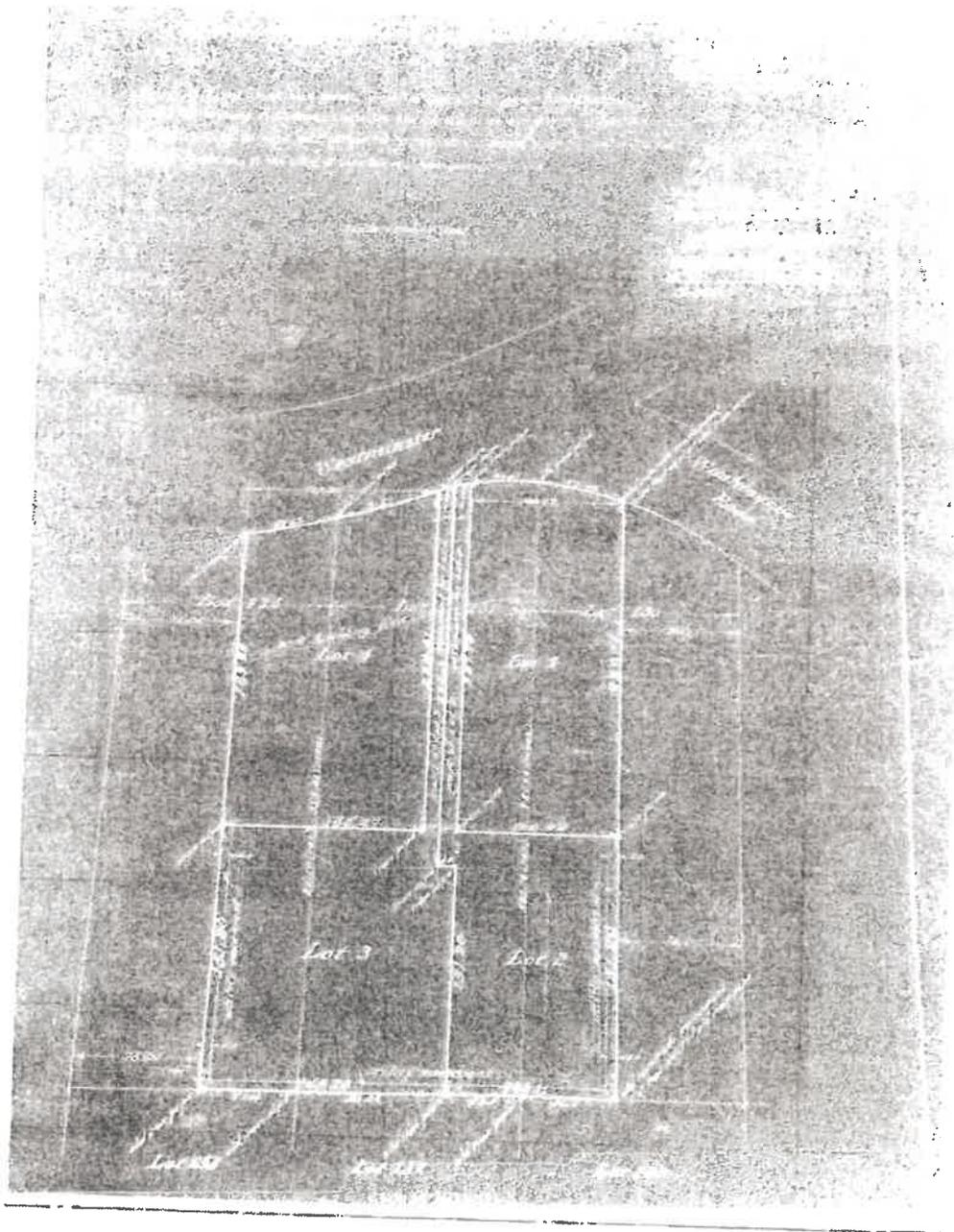
The house at 373 E. Westminster was built in 1963. Original drawings, which the current owner has, are dated December 3, 1962. Charles C. Schutz, 1605 Sanders Road, is listed as architect.¹ The building is described in the corner block of the plans as "Residence for Lot #4, R. H. Mabbatt Subdiv, Lake Forest, Illinois. McDonald Builders, 2095 Telegraph Rd - Deerfield, Illinois. It is cited as "Job 723"²



¹ The 1962 Architects Directory of member of the American Institute of Architects does not show a listing for Schutz. Koyl, George S. F.A.I.A. *American Architects Directory*. Published under the Sponsorship of the American Institute of Architects. New York: R.R. Bower Company, 1962.

² 373 E. Westminster. Original Drawings. Property of Douglas Donovan, 373 E. Westminster, Lake Forest, IL

R. H. Mabbatt Subdivision



The R. H. Mabbatt Subdivision was recorded August 1, 1961 by Richard H. Mabbatt, Jr. In 1928, Mary S. Mabbatt, his mother and the divorced wife of Richard Holloway Mabbatt, built a white clapboard home.³ It was located at 401 E. Westminster, which became Lot 1 of the subdivision. The house is Colonial Revival house with simple handsome detailing. The entrance contains a paneled door flanked by fluted pilasters and topped by a shell motif in the form of a blind fanlight. Above it is triple window, recalling a Palladian motif. Each multipane window is topped by a flat wood lintel with a raised wood keystone. The house has a simple cornice with dentils. Despite being aluminum sided in 1970⁴, it has many handsome details characteristic of the Colonial Revival style and is similar in style and scale to many houses in the Lake Forest Historic District. Mary Mabbatt lived in this house until shortly before she died⁵, in November, 1961, at age 100.



401 E. Westminster

Mary's son, Richard H. Mabbatt, Jr. was a successful businessman and a distinguished citizen, listed in *Who's Who in Chicago*. He dealt in commercial paper at the Chicago Board of Trade and was president of R. H. Mabbatt & Co. Inc. His clubs were Onwentsia, the Attic and the

³ 401 E. Westminster, Building Permit File, City of Lake Forest On March 22, 1928, Mary Mabbatt applied for a house number. There was an article in the *Chicago Daily Tribune* dated August 24, 1927 and titled "Mrs. Mary Mabbatt Plans New Home as She Travels Abroad."

⁴ 401 E. Westminster. Building Permit File, City of Lake Forest. In 1970 Dr. Hrilo, the owner of the house installed aluminum siding, at a cost of \$5300

⁵ Mary S. Mabbatt lived at Abbott House, Highland Park, at the time of her death.

Casino. In 1940, he was elected Mayor of Lake Forest. His home was at 245 Vine. Avenue.⁶ It was he--Mary's son--who created the subdivision.

In 1948, Mrs. Mabbatt built a small house, with a house number of 403 E. Westminster.⁷ Located just to the rear of 401, it is a painted shingle house with an enclosed front entrance porch. Other than the rectangular form of the house, shingled walls and multipane double hung windows, the house has no artistic refinements characteristic of the Colonial Revival style. It became Lot 2 of the Subdivision.



403 E. Westminster

When Richard H. Mabbatt, Jr. built two spec houses to the west of 401 and 403, Colonial Revival was selected for the designs. They are stylistically compatible with the houses Mary built-- examples of Colonial architecture--but neither is architecturally exemplary.



385 E. Westminster



373 E. Westminster

⁶ Mabbatt, Richard H. *Who's Who in Chicago & Vicinity*. Chicago. A.N. Marquis Company, 1941. P. 520.

⁷ 403 E. Westminster, Building Permit File, City of Lake Forest. At the time the house was constructed, it was located on the W. 56' of Lot 130 and the E. 44' of Lot 131.

Norman Preston Proehl was born August 26, 1915, in Otter Tail, Minnesota.¹¹ Proehl's U. S. World War II Army Enlistment Records, 1938-1946 show he enlisted April 10, 1942, at Fort Snelling, Minnesota. It states that he had four years of college, was a civil engineer and was, at that point, single.¹² An Internet search turned up information that he had filed several patents: one for a hydraulic dredge pipeline coupling mechanism and others related to dredging.¹³

Proehl died in February, 1991.¹⁴ He and his wife, Jeanne S., who died in 2002, are buried in Lake Forest Cemetery.¹⁵ The current owner, Douglas Donovan, purchased 373 E. Westminster from Mrs. Proehl's estate.



¹¹ Minnesota Birth Index, 1900-1934. Ancestry.com. The 1920 U. S. Federal Census has him living in Parkers Prairie, Otter Tail, Minnesota.

¹² U. S. World War II Army Enlistment Records, 1938-1946. Ancestry.com

¹³ <http://patents.justia.com/inventor/norman-p-proehl>

¹⁴ Norman P Proehl in the U. S. Social Security Death Index, 1935-2014. Ancestry.com

¹⁵ Find a Grave Index, 1600s-Present. Ancestry.Com Lake Forest Index created by Rommy Lopat. The Social Security Death Index indicates that his Social Security Number was issued before 1951 in Minnesota.

Lake Forest Historic District

373 E. Westminster, a Non-contributing Structure



The property at 373 E. Westminster is located at the western edge of the central section of the Lake Forest Historic District. The character of the area changes markedly, just before McKinley, where there is commercial development. On the south side of the street, immediately to the east, but set far back on its lot, is the carriage house for the Dr. Charles H. Quinlin property, a building that later served as a Masonic Temple and subsequently the home of the Lake Forest-Lake Bluff Historical Society. ~~It is currently empty.~~ Beyond this building, to the east, there is a new home and a large apartment building. To the west, the house at 373 is separated from the home built by Mary Mabbatt in 1928 by a driveway leading back to 385 and 403 E. Westminster.



When the 1978 National Register nomination for the Lake Forest Historic District was re-examined in 2011 and the buildings were resurveyed, the house at 373 E. Westminster, built in 1963, was found to be Non-contributing. The buildings that were over fifty years old and had sufficient integrity were listed as "Contributing." It would require a second look today but, once re-examined the house at 373 would likely still be found Non-contributing--though not just because of age. A high percentage of the 559 houses in the District are architect designed; most are examples of high style architecture,¹⁶ and many are associated with prominent individuals. The considerably larger Mary S. Mabbatt House is more typical of houses found throughout the District. Architects who designed Contributing homes include Frost & Granger, Holabird & Roche, Howard Van Doren Shaw, David Adler, Stanley Anderson and many other important practitioners. Stylistically, the buildings in the District represent a broad range of styles, and relatively few are Vernacular. The house at 373 E. Westminster does not reflect the high level of artistry associated with high style architecture, was not designed by a distinguished architect and is not associated with a prominent Lake Forester.

Architectural Style: Colonial Revival

373 E. Westminster is an example of Colonial Revival architecture, as it was interpreted in builder houses of the 1950s and 1960s--simplified and stripped of much embellishment. Typical characteristics include: a rectangular shape topped by a gable roof, double-hung windows in a multipane configuration, shutters, a cornice suggesting a classical entablature (if vastly pared down) and an entrance with Classical detailing. Often the doorway was centered; in this case it is not. The broken pediment, with the cornice broken at the apex, was a frequent entrance motif in commercial and residential architecture of the period.¹⁷

There are 128 Contributing Colonial Revival houses.¹⁸ "Substantial architectural quality" characterizes the majority of houses in the District.¹⁹ The house at 373 E. Westminster is unaltered, but it does not have the quality of detailing reflected in most Contributing Colonial

¹⁶ *Lake Forest Historic District*, 2011, P. 4.

¹⁷ After architect Robert Venturi's 1959-64 house in Philadelphia and Philip Johnson's 1981-84 design for the A. T. and T. building in New York, the broken pediment became associated with Post Modernism and disconnected from its Classical origin.

¹⁸ *Ibid.*

¹⁹ *Ibid.* P 12. The revised nomination states that "Substantial, quality architecture, well within the cannon of accepted historical revival styles, dominates the District."

Revival houses in the District. What sets the house apart from most earlier houses built in the style is its attached garage.

Physical Description

The house at 373 E. Westminster is brick veneer, stands two stories and is generally rectangular, with a one story double garage to the west. It is topped by a shallow side-facing gable roof. At first glance, it appears that the house has gable returns at the sides, suggesting a partial pediment; in actuality that is the gutter extending around the corner, draining into a downspout at each end of the side walls. The front is four bays wide. The windows in the end bays are stacked. There is no attempt to place the windows in the center two bays over one another although they appear that way in the drawings. The front windows have shutters, but they have no latches, and their size generally bears no relationship to the size of the windows; they don't look as if they could be operable. There are no shutters on any windows that are not visible from the street. The first floor front windows are topped by segmental arches, and the sills each consist of a projecting header course. A classical entablature often includes dentils, but there is no suggestion of an entablature--a frieze or architrave beneath the dentils; there is also no cornice. The dentils are topped by a flat fascia board and the gutter. The second floor windows have no lintels. There is a brick chimney in the center of the east facade.



The front doorway is recessed behind the plane of the wall. Fluted pilasters support the broken pediment. In the center is a finial, suggesting the pineapple, a symbol of hospitality frequently found in this location in Colonial buildings. Slim sidelights, with four glazed panels flank the door. Every element is pared down.



The side elevations have windows topped by segmental arches composed of stretchers and sills formed by a row of projecting headers. There is a ridge vent with a row of headers beneath the vent in the west gable end. Gutters wrap the corners.



West Facade

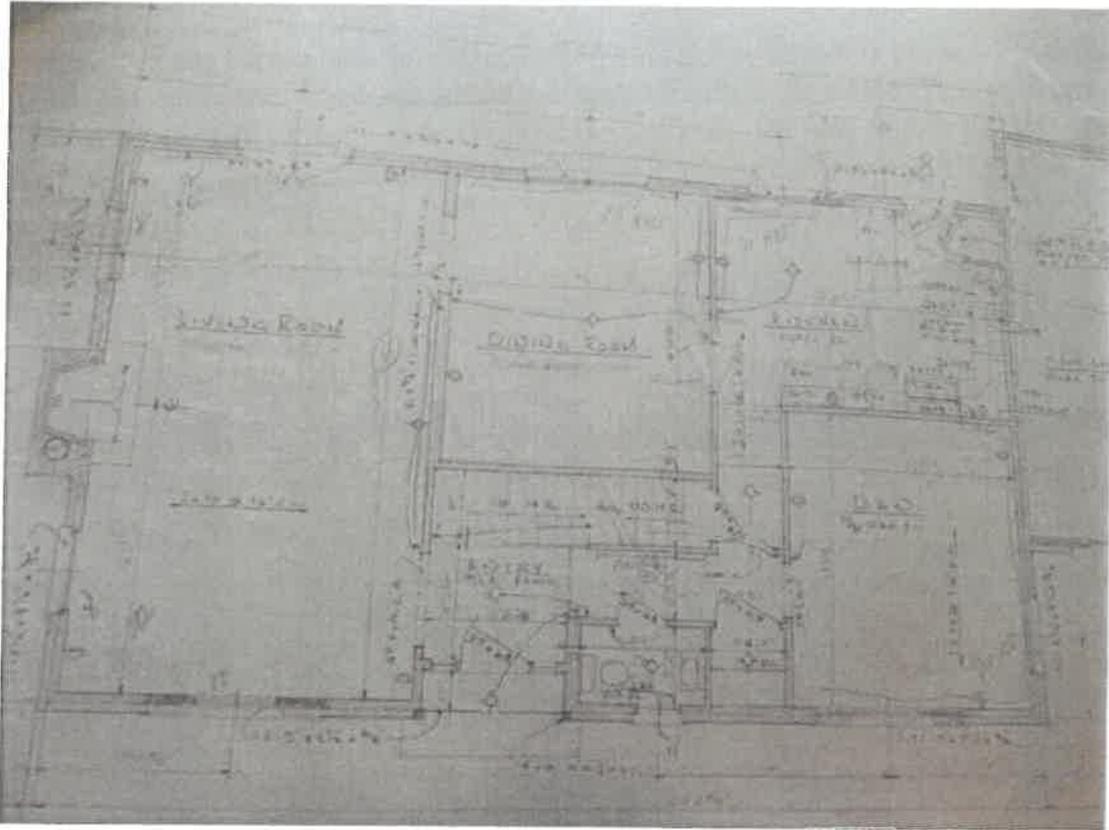


East Facade

The rear facade has no refinements--except for sills that consist of a row of headers. The windows are not placed in any coherent way in relation to one another. They have no lintels or shutters. The roof of the garage extends to the east forming a sheltered porch. There is no direct entrance to the garage, although one was drawn on the plans.



First Floor Plan



The first floor contains four rooms. The front door opens directly into the stair hall. To the east is the living room, which extends the full depth of the house. Adjacent to it, facing the rear yard, is the dining room, currently serving as a family room. The kitchen is located in the southwest corner of the house. From the entry, there is a short hallway, past a powder room, leading to the den. This room is located in the northwest corner of the house, north of the kitchen.

The front door opens into a shallow entry hall. Immediately opposite is the staircase to the second floor. Doors are paneled. The floor is linolium. There is no crown molding in either the entry hall or the living room. There is a simple Colonial wood mantel surrounding the fireplace, located in the center of the east wall of the living room. The surround and the hearth are oversized brick. There are no refinements other than the suggestion of pilasters supporting an entablatur, but with no detailing. There is a molded shelf mantel. Flooring in the living room is oak. Door and window casings consist of simple wood boards.



View east past entry hall toward living room



Living room, View southeast.

The dining room, which has no crown molding, currently serves as a family room. It has built-in shelving in the north wall. The den also has no crown molding. Floors are oak in both rooms.



Dining Room/Family Room. View northwest.



Den. View northwest



Powder Room, View northwest

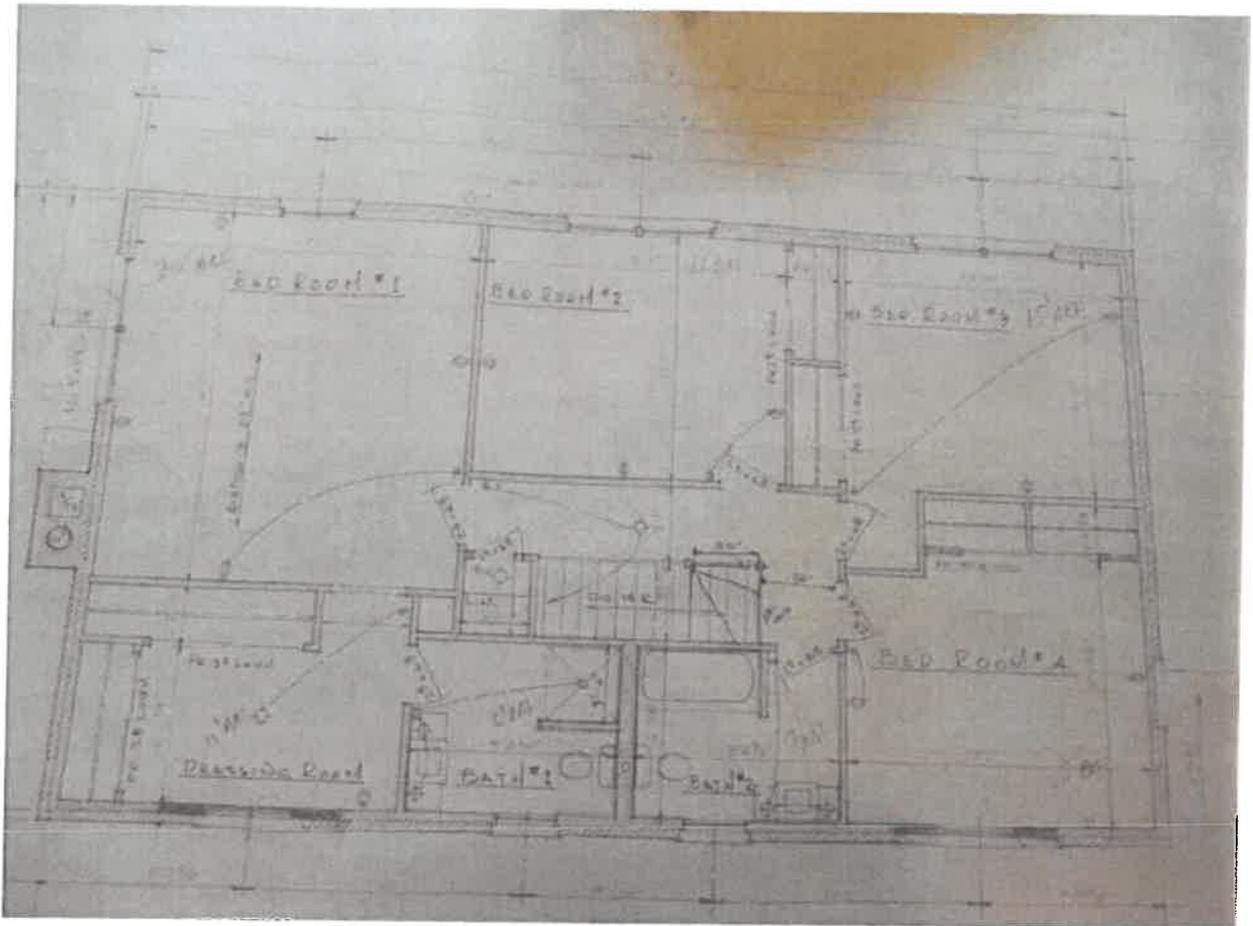
There is a winding staircase to the second floor. It consists of a slim painted newel post with spindles and railing forming the edges of the staircase. The treads are varnished wood; the risers are painted.



Staircase to Second Floor, View southwest

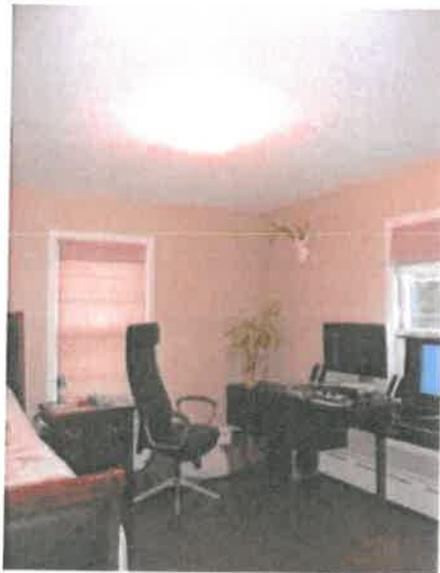
Second Floor

The second floor has four bedrooms and two bathrooms. The bedrooms and one bathroom open off a hallway that runs east west. The master suite, located at the east end of the house, consists of a bedroom larger than the other three, a large dressing room and a bathroom.





Upstairs hallway, View west, past stair balustrade toward south and north corner bedrooms. None of the rooms, including the hallway, have crown molding.



Northwest bedroom. (Bedroom 4) View northwest.



South Center Bedroom. (Bedroom #2) View southeast.



Hall Bath. View north.



Master Bedroom, View southeast.



Master Dressing Room, View southeast.



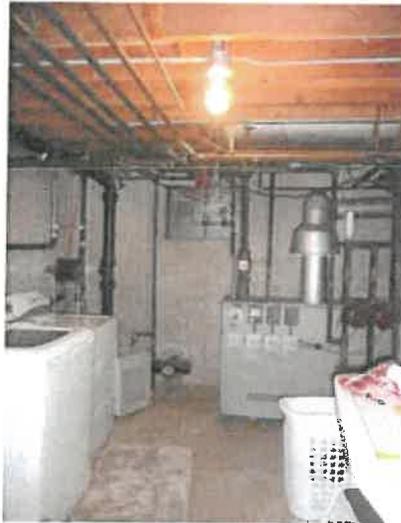
Master Bath, View west.

Basement

There is a wood staircase to the basement. The space is unfinished, serves as laundry and used for storage.



Staircase. View west toward first floor doorway to basement



Basement, showing concrete foundation, laundry area, furnace and piping.

Neighboring Houses

The only historic buildings on the same side of the street as 373 E. Westminster are the 1928 Colonial Revival house at 401 E. Westminster built for Mary S. Mabbart and the Charles H. Quinlan Coach House. These are Contributing buildings in the Historic District. To the west of the coach house is new construction, a wood frame house that is compatible in **scale, materials** and style with the older houses across the street.



401 E. Westminster



Quinlan Coach House. View south.



New Construction, house west of driveway to Quinlin Coach House. Apartment building to west of house.

There are several historic houses on the west side of E. Westminster, across from 373. The house at 326 E. Westminster is an American Foursquare that is presently under renovation. Although the National Register 2011 Inventory states that the Blier family lived there in 1928, it very likely dates from 1905-1910, when the Foursquare was a particularly popular building type.



326 E. Westminster

Immediately next door, at 334 E. Westminster, is a house that was the Quinlan School, which was built as a single family residence c. 1860 and moved to this location in 1906. This Italianate house is one of Lake Forest's most significant early buildings.



334 E. Westminster

To the east of the Quinlan School building, at 338 E. Westminster, is a Shingle-Style house that was noted as having been built in the 1920s in the National Register inventory. Shingle style houses were popular in the late 19th Century, particularly along the Eastern Seaboard, so this house may have been built earlier.



338 E. Westminster.

The house at 360 E. Westminster, with a coach house in the rear, was built in 1876 by Charles Pratt. Major alterations, were made in 1918. This is likely when the building was stuccoed. According to the 1940 Census, Louis C. and Mary Seaverns lived here.²⁶ He was 52; she was 42. Louis sold investments. Mary S. Mabbatt's maiden name was Seaverns. In 1940, she was 80. Louis was Mary's nephew.



360 E. Westminster

²⁶ Louis Seaverns, 370 E. Westminster. 1940 Census, Ancestry.com

According to the National Register inventory, the house at 370 E. Westminster was built for George A. Seaverns, Jr. In the 1940 Census, he was 50 years old. Mary Mabbatt's father was named George, but George, Jr. was actually the third George and he was Louis's brother, also Mary's nephew. Today the house is the rectory for the Church of the Holy Spirit, built in 1902 by Alfred Granger with alterations by Stanley Anderson.



370 E. Westminster



Church of the Holy Spirit, 400 E. Westminster

Integrity

The house, as completed, did not follow the drawings. For instance, the windows on the front facade do not line up. Also, there is no direct entrance into the garage from the back of the house, as is shown on the drawings. That said, the house is virtually unaltered from the time it was constructed. The materials and design treatments are typical of the period, but simpler and less distinguished than many that were more artfully designed. There is little trim in the house. None of the rooms have crown molding. Casings are simple. The selection of materials and detailing reflects the work of a builder, looking to economize. Nevertheless, the design of the house, as constructed, is intact. The only changes include built in bookcases in the dining room/family room, updating of some systems and decorating. Despite updating of mechanicals, there are issues with the building's condition. These appear to include water seepage, rot, problems with HVAC and settling cracks.



Conclusion.

The house at 373 East Westminster, is one of two houses built on speculation--at 373 and 385 E. Westminster--located immediately next door to the 1928 and 1948 Mary S. Mabbatt family homes. No information other than a building permit, found serendipitously on the Internet for another house in Barrington Hills, dated 1959, was found on the architect. McDonald Builders constructed two simple Colonial Revival houses for a client who subdivided his land and was looking to make a profit from the subdivision. Little, if any, attempt was made to incorporate artistic refinements. Shutters were only included, for instance, where windows were visible from the street. The segmental arch lintels over the windows on the front and sides of the house were not used on the rear facade. In the center of the broken pediment over the front entrance, there is only a finial, not a reference to the pineapple, the symbol of hospitality often found in a Colonial Revival house. The gutters, not wood moldings, suggest cornice returns.

On the interior, there are no graceful design features. The spindles on the stair case are not handsomely designed. The fireplace hearth and surround consist of oversize brick, not any refined detailing. Cost-cutting measures include the simplest of moldings, where there even are any. There are, for instance, no crown moldings.

Typically, well-designed Colonial Revival houses--like almost all of those that are Contributing to the significance of the Lake Forest Historic District--have artistic detailing characteristic of the style. In this house there are no fine materials. Architectural refinements are absent. The most that can be said is that the house is a pleasant background building.

373 East Westminster does not have the same level of artistry as other Colonial Revival houses in the District. That is why it is Non-contributing. It would not negatively impact the significance of the Lake Forest Historic District if the building were replaced. It is not an eloquent example of a Colonial Revival house, like almost all the other Colonial Revivals in the District. Because of this, it would not be detrimental to the public interest of Lake Forest should the building be demolished. The character of the district would be retained, especially if the replacement building is artfully designed to be compatible with the Contributing buildings nearby.

Plans are currently being drawn up by the present owner, who is looking to build a new home for his family, one that will fit into the District in style, materials and scale and will comply with the Standards for review of new construction within the Historic District.

Selected Bibliography

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- 401 E. Westminster, Building Permit File, City of Lake Forest. Application for a house number, March 22, 1928.
- 403 E. Westminster, Building Permit File, City of Lake Forest.
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- Proehl, Norman Preston. Minnesota Birth Index, 1900-1934. Ancestry.com. The 1920 U. S. Federal Census has him living in Parkers Prairie, Otter Tail, Minnesota.
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- Proehl in the U. S. Social Security Death Index, 1935-2014. Ancestry.com
- Residence for Lot #4, R. H. Mabbatt Subdiv, Lake Forest, Illinois. McDonald Builders, Charles. E. Schutz, Architect. Original Drawings. Property of Douglas Donovan, 373 E. Westminster, Lake Forest, IL.
- R. H. Mabbatt Plat of Subdivision. R. H. Mabbatt. August 1, 1961.

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Structural Engineers

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F: 1.847.291.0643
harrymarshallse@gmail.com

September 9, 2015

Mr. Douglas W. Donovan
373 East Westminster
Lake Forest, Illinois 60045

Re: 373 E. Westminster Residence Building
Lake Forest, Illinois

Dear Mr. Donovan:

As arranged, I met with you on Friday, September 4, 2015 at your home at 373 East Westminster in Lake Forest, Illinois. The purpose of the site meeting was to observe existing conditions in order to develop opinions and offer recommendations.

The 373 East Westminster Building is a single family residence approximately 52 years old. The structure is two story wood frame with brick veneer exterior walls and with concrete foundation walls for a partial basement and crawl space.

The problems are numerous. The basement concrete foundation walls have severe cracks that have been sealed but water still penetrates into the basement. The cracks have, in my opinion, compromised the structural integrity of the basement walls. The site drainage has been somewhat modified but water still sheets toward the house resulting in water into the basement with the sump pump running almost constantly.

The South exterior wall of the Garage has a significant step or settlement crack that requires repair in order to prevent water penetration and further deterioration. The repair process is expensive. Ground anchors need to be installed adjacent to the wall in order to provide support and to stop further settlement by attachment of the ground anchors to the concrete foundation wall.

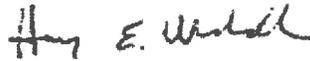
Wood trim and finishes exhibit rot and deterioration and need to be replaced. The mechanical systems are old and inefficient, resulting in unnecessary energy loss and usage. The single pane windows and the exterior walls appear to be the original construction and not energy efficient as required by current code requirements. Although not open for observation, the electrical and plumbing systems are most likely out-of-date and not code compliant. The stairway from the first floor to the second floor curves around a corner at the top like a spiral stairway and is, in my opinion, dangerous, especially since a handrail is not continuous from top to bottom. The attic space needs more insulation. Some of the rafters have been reinforced due to splitting and deterioration, most likely due to the Spacepak air conditioning unit generating water. The roof needs new shingles and will require removing the existing layers in order to not overload the structure.

Mr. Douglas Donovan
Page two

September 9, 2015

To bring the home up to current code specifications and to repair all of the deficiencies would, in my opinion, be very expensive and not worth the cost. I recommend demolishing the existing residence and starting over with a newly constructed building.

Sincerely yours,



Harry E. Marshall

HM/db



Expires 11/30/16



**THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 715 MCKINLEY ROAD

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input checked="" type="checkbox"/> Demolition Complete	<input checked="" type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- East Lake Forest District
 Green Bay Road District
 Vine/Oakwood/Green Bay Road District
 Local Landmark Property or District
 Other

PROPERTY OWNER INFORMATION

CITY OF LAKE FOREST
Owner of Property

220 E. DEERPATH
Owner's Street Address (may be different from project address)

LAKE FOREST, IL
City, State and Zip Code

Phone Number *Fax Number*

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

PETER WITMER
Name and Title of Person Presenting Project

WITMER & ASSOC
Name of Firm

1000 N. MCKINLEY
Street Address

LAKE FOREST, IL
City, State and Zip Code

847 205-5240
Phone Number *Fax Number*

P.WITMER@WITMERANDASSOC.COM
Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.	
Please email a copy of the staff report	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE

373 WESTMINSTER

LAKE FOREST

July 12th, 2021

Lake Forest Historic Preservation Commission
Demolition Criteria

The original house was built in 1962 as a speculative house in the colonial style. It has minimal details and has not been updated since constructed except for hvac and maintenance items. It has the original kitchen, windows and unfinished basement.

The previous owners tried to mitigate the drainage issues that the original floor height was set to low and water flow from the south comes down the backyard and toward the house. This has caused some cracking of the concrete foundation and settlement problems. The driveway has also been an issue due to the fact that the drainage goes over it from the west. A new home can be designed at a higher floor elevation to eliminate this water issue.

The house is not a contributing structure in the historic district and will not impact the district by its removal. The description of the home is outlined in the report done for the previous demolition approval which suggest that the home should be demolished. Since that report the drainage issues have worsened and the house has not be modified and or modified.

Revised Design based on the 6/3/21 Meeting

Update to the HPC for Phase 3 McKinley Condominium project.

Based on comments from the board meeting on 6/3/21 we have revised the design in the following manner to address those concerns.

North Elevation

We have revised the design to eliminate the front screen porch and replace it with a front entry porch and relating front door with a transom and side lights. It will have two light fixtures on either side on the entry door. The landscape has been adjusted to highlight the front door entry and screen the two terraces on either side of the front entry. We have added a crushed stone walk to the front door from the west. We feel these changes address the concern of not having a front door face Westminster road. The changes also address the elevation in creating a more residential scale to the elevation.

West Elevation

The screen porch at the south end has been narrowed and the pilasters on each side widen so that they match the other bays on the west, south and north elevations. We have removed the screen porch and relocated it to the southeast corner. We have a single door and side lights into the porch which act as an entry into the home.

Changed and number of first floor doors on the east elevation to double-hung windows which was raised as a concern. In addition the center section of the elevation the bay moved out toward the side walk. We have made that area recede so that when you view from walking down from the north it appears as two buildings. We also added 2 parkway trees and a unit entry in front of that area so to further reinforce the idea of two separate buildings.

East Elevation

We have eliminated 18 windows from this elevation to reduce the number of windows which was a concern raised. We also have changed the cornice from stone to brick detail so that the contrasting color is removed from this elevation. So that there is not the contrasting cornice viewed from the east. The 7' high wood fence remains and the landscaping has been located in the 15' between the building and the property line.

Roof Plan

The hard surface seating areas and planted areas have been delineated on the plan. These areas and penthouse locations have been dimensioned and located Above the hard surface areas trellis for shading will be available for each owner option. The enclosed space on the structures are for light to stair access to the unit and for the private use of each individual unit.

The HOA has written rules on the conduct of the owners not only in the interior but exterior spaces and a board to deal with disciplinary issues should they arise.

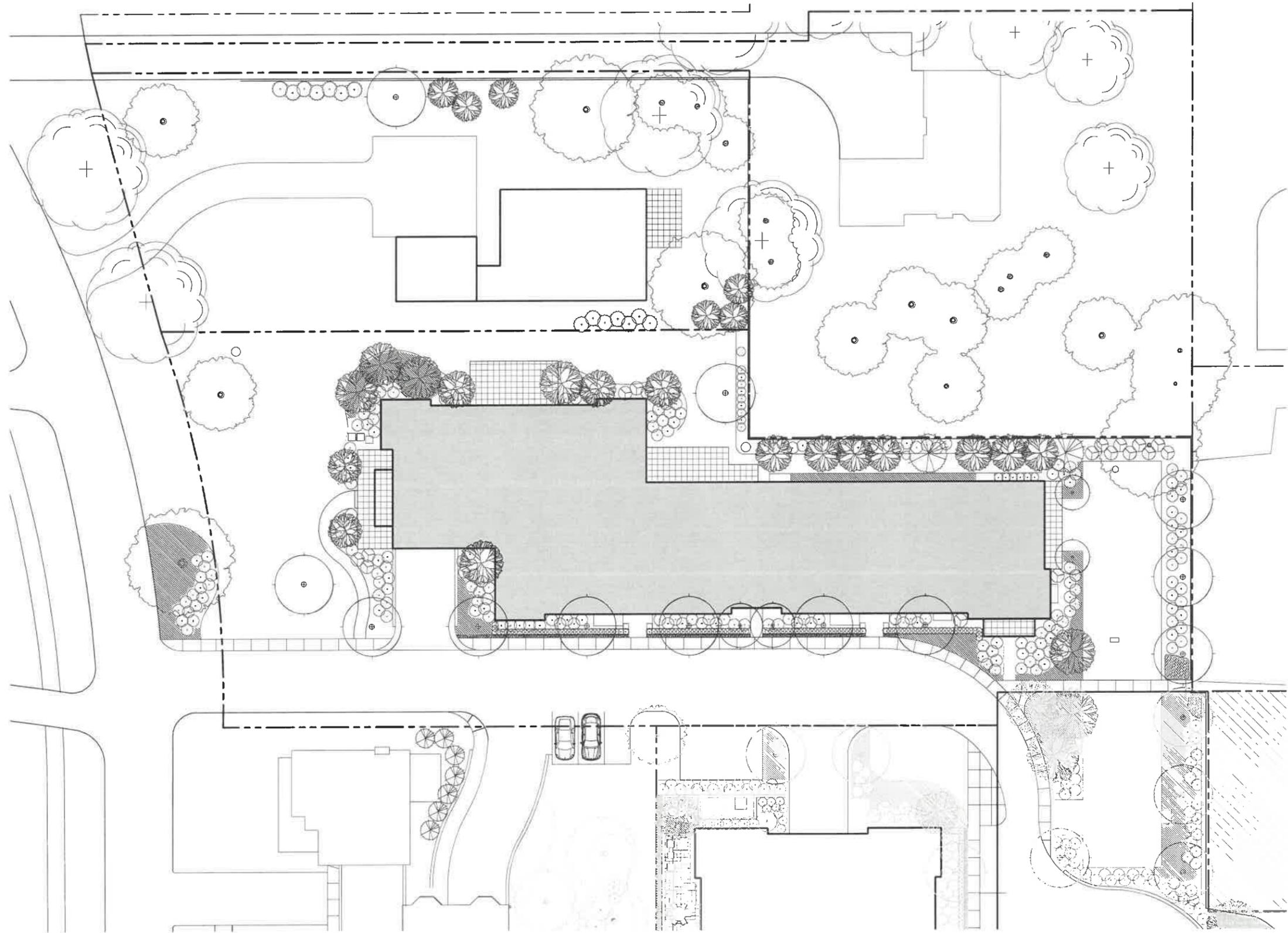
Exterior Materials

We have changed the brick detail in the spandrels under the windows reflect a slightly lighter feel to the elevations from the first two phases. In addition we have changed the stone heads above the doors and windows to brick soldier courses so that the contrasting color is removed. We feel that matching the hand molded brick of the first two buildings ties the three buildings together and the brick detailing changes makes the third building differ and receded because of the monolithic surface of the two story building. The stone cornice will match on the three elevation that relate to the first two buildings. The painted wood of the north entry porch varies from the stone entries that of the painted steel entrance porch at the southwest which faces the existing similar screen porch on building two. Windows with the same large brick mold will be used on all the windows and doors.

373 Westminster

We have provided a schematic plan, site plan massing study for review. This is not a plan that we intend to build or submit as a plan for review. The design fits within the established 80' front yard set-back corner side yard of 40' and rear yard of 35' and interior side yard of 10'. The design is under the allowable bulk for the site and below the 35' height restriction. If this part of the submission is viewed as a plan please remove this information from the packet.

With these changes we would respectfully request a vote of approval for this project.



MCKINLEY ROAD DEVELOPMENT
 PHASE 3 LANDSCAPE PLAN
 July 7, 2021
 SCALE: 1"= 30'

Witmer & Associates
 Architecture and Interior Design
 witmerandassoc.com





NORTH ELEVATION



SOUTH ELEVATION

OLD w/ TREES

ADD BRICK DETAIL @ SCONCE LIGHTS

CHANGED STONE WINDOW HEADS TO BRICK SOLDIER COURSE
SIMPLIFIED BRICK WINDOW PANEL



MODIFY LANDSCAPE TO HIGH LIGHT FRONT ENTRY DOOR. ADD STONE STEP @ EDGE OF ENTRY W/ GRAVEL WALK

REMOVAL OF SCREEN PORCH & REPLACE WITH WOOD ENTRY PORCH WITH COLUMNS, FRONT DOOR WITH SIDE LIGHTS & TRANSOM

ELIMINATE SCREEN PORCH & MADE TERRACE SMALLER

NORTH ELEVATION

SOUTH ELEVATION





NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

OLD w/ TREES

715 MCKINLEY ROAD
ELEVATIONS

April 13, 2021 SCALE: 1/16" = 1'-0"

ELIMINATE WINDOWS ON WEST ELEVATION @ PENTHOUSE, TYP.

RECESS AREA SO THAT IT BREAKS BUILDING DOWN INTO TWO PARTS

ELIMINATION OF STONE HEAD @ WINDOW REPLACE WITH BRICK SOLDIER COURSE



REMOVE FRENCH DOORS @ GRADE EXCEPT FOR STAIR EGRESS

ELIMINATE SCREEN PORCH & REPLACE WITH SMALLER ENTRY PORCH





EAST ELEVATION

OLD w/ TREES

ELIMINATE WINDOWS
ON EAST ELEVATION
@ PENTHOUSE, TYP.

CHANGED STONE CORNICE TO
BRICK SO NOT TO CONTRAST

ELIMINATION OF STONE HEAD
@ WINDOW REPLACE WITH
BRICK SOLDIER COURSE



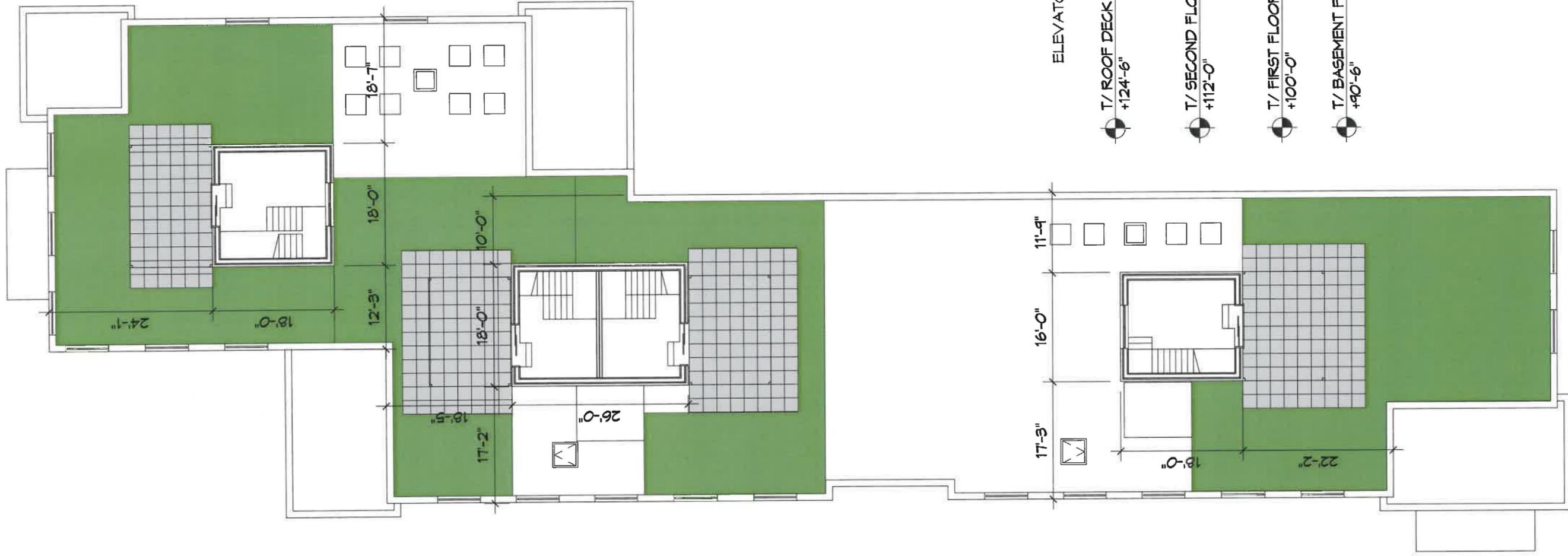
ELIMINATE 18 WINDOWS

PROPERTY LINE BETWEEN
385 & 373 WESTMINSTER



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Architecture and Interior Design
witmerandassoc.com

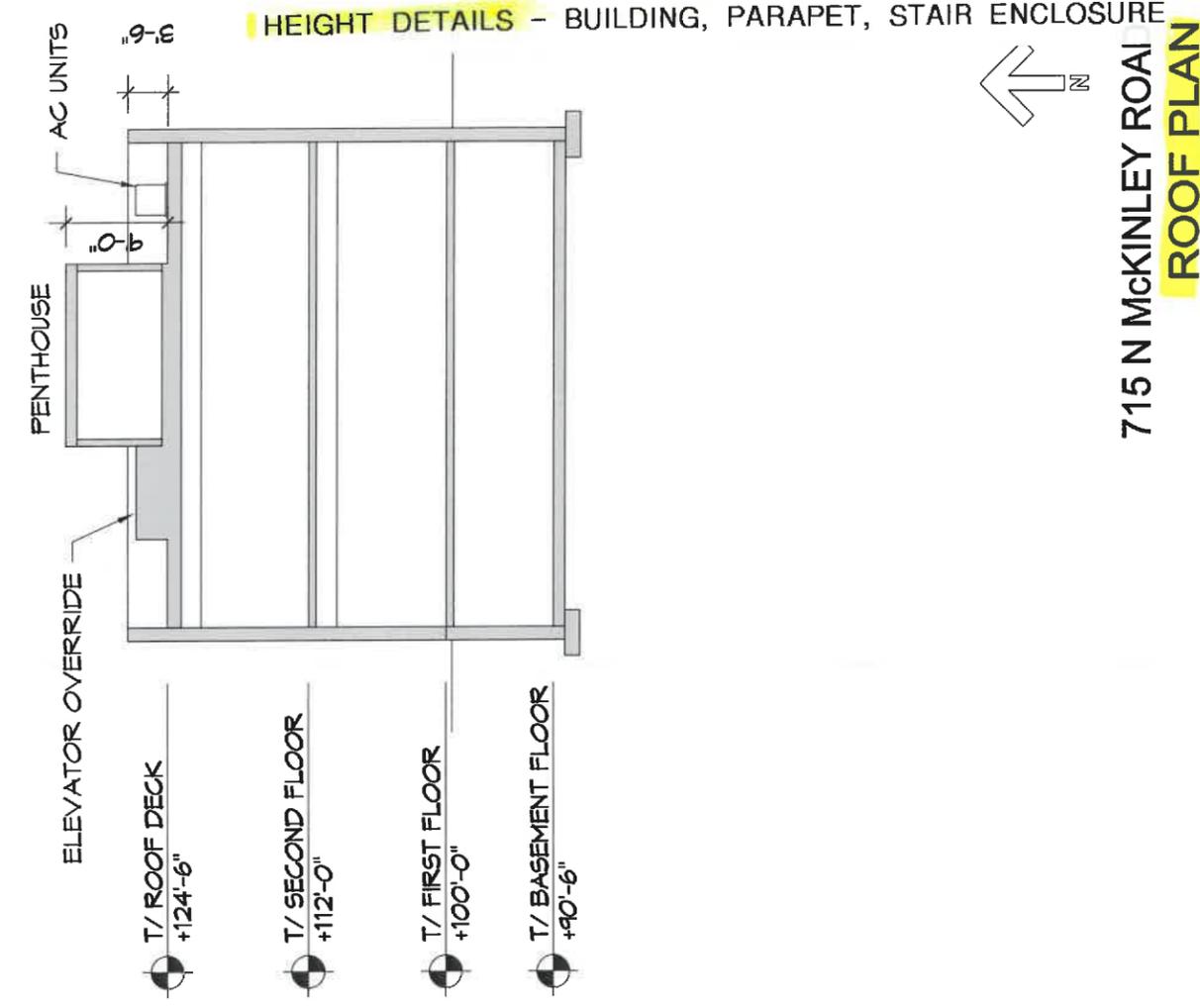
715 MCKINLEY ROAD
EAST ELEVATION
July 1, 2021 SCALE: 1/16" = 1'-0"



LEGEND

- HARDSCAPE (ACTIVE USE AREA)
- LANDSCAPE

ROOF - LANDSCAPE AND PATIO AREAS DELINEATED

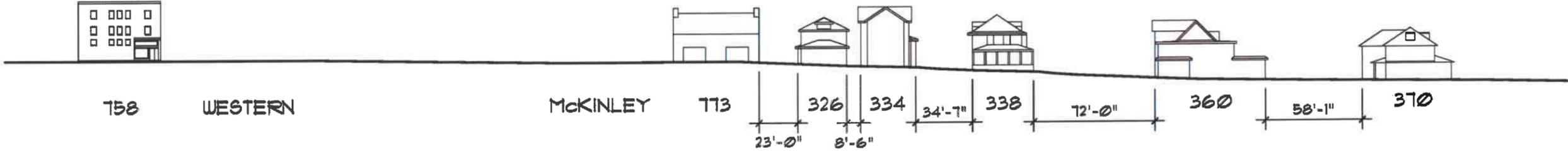


HEIGHT DETAILS - BUILDING, PARAPET, STAIR ENCLOSURE



Rhythm of spacing and structures on the streets

Westminster Streetscape



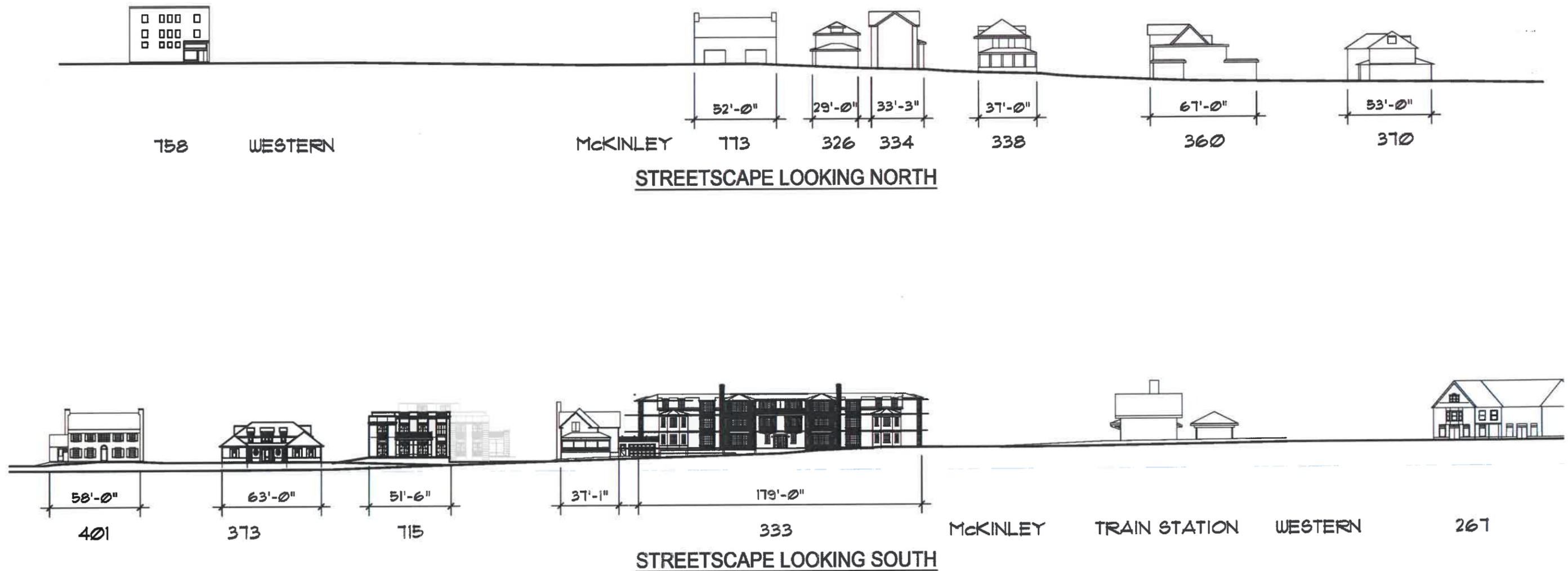
STREETSCAPE LOOKING NORTH



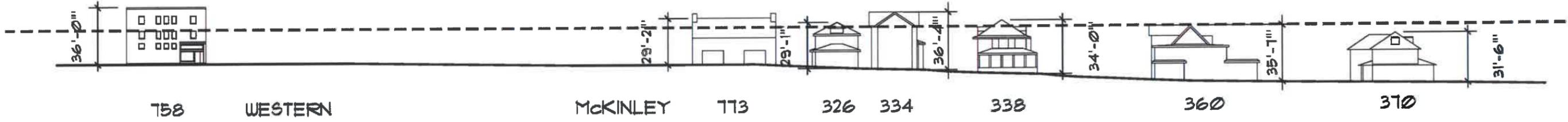
STREETSCAPE LOOKING SOUTH

Proportion of front facade

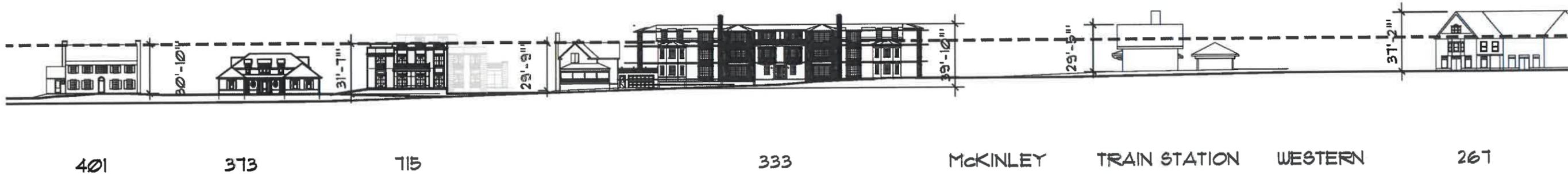
Westminster Streetscape



Height Westminster Streetscape



STREETSCAPE LOOKING NORTH



STREETSCAPE LOOKING SOUTH

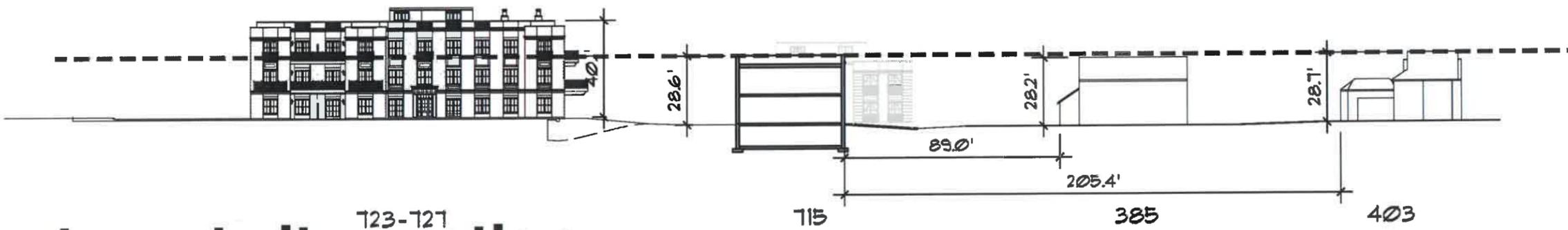
Height

Alley and Library streetscape

North south site section and east west site section



North south site section



East west site section

723-727

715 385 403



ENTRANCE DRIVE



ALLEY



NORTH ELEVATION

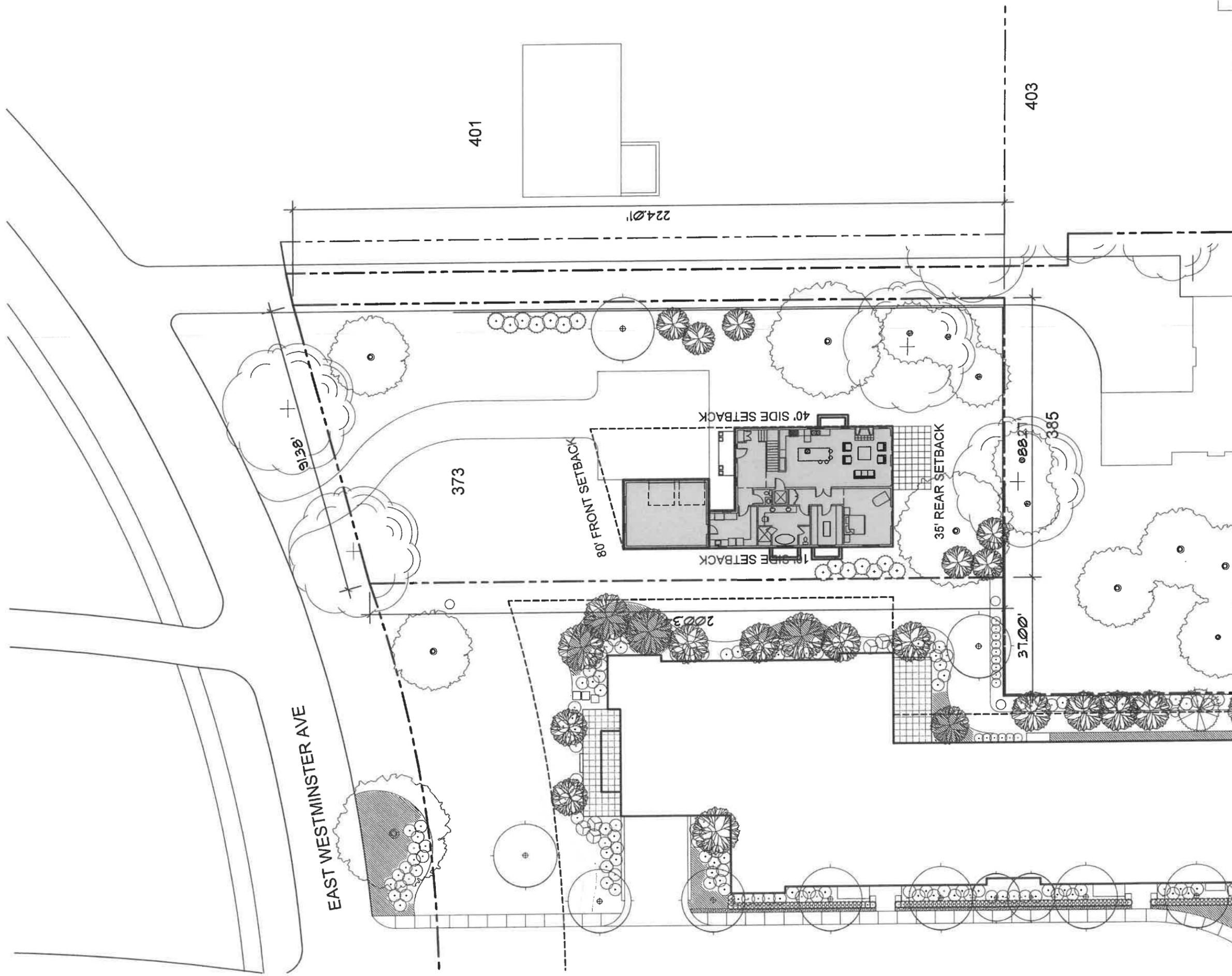


WESTMINSTER STREETScape



SOUTHWEST CORNER

Information Only

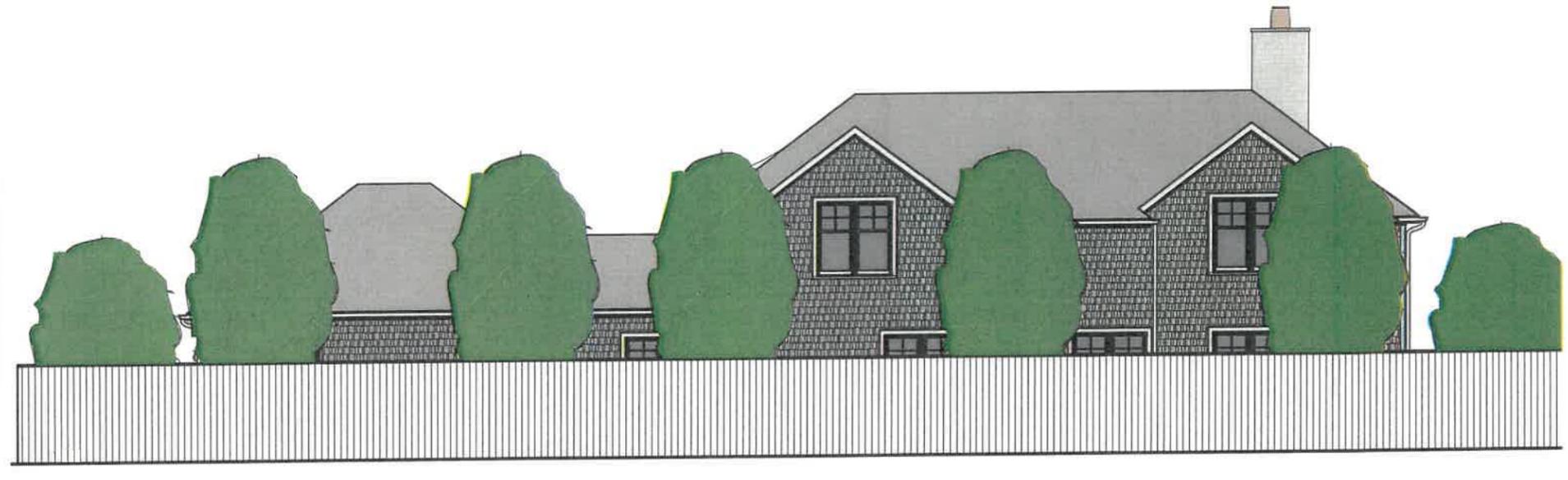


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 Architecture and Interior Design
 witmerandassoc.com

373 E WESTMINSTER AVE
 PROPOSED SITE PLAN
 June 4, 2021
 SCALE: 1"= 30'



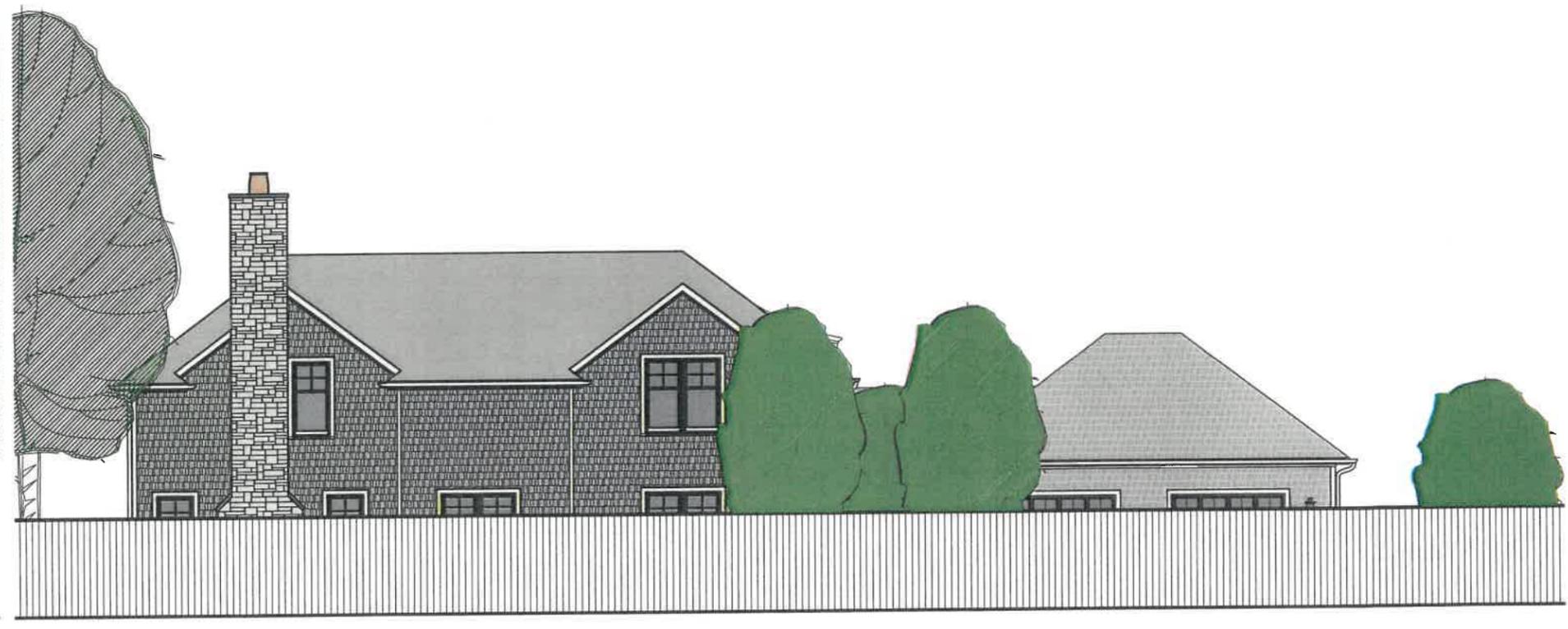
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

DRAFT



Agenda Item 4
335 Robinson Drive
New Residence

Staff Report
Building Scale Summary Sheet
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Plat of Survey
Proposed Site Plan
Impervious Surface Calculations
Proposed North Elevation
Proposed North Elevation Rendering
Proposed East Elevation
Proposed East Elevation Rendering
Proposed South Elevation
Proposed South Elevation Rendering
Proposed West Elevation
Proposed West Elevation Rendering
Perspective Renderings
Roof Plan
Building Sections
Site Section
Floor Plans
Preliminary Site Grading and Tree Removal Plan
Tree Inventory
Conceptual Landscape Plan

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grieve and members of the Historic Preservation Commission
DATE:	July 12, 2021
FROM:	Jennifer Baehr, Planner
SUBJECT:	335 Robinson Drive – New Residence

PETITIONERS

Doug and Maggie Reynolds
900 Polo Lane
Glenview, IL 60025

PROPERTY LOCATION

335 Robinson Drive

HISTORIC DISTRICTS

Green Bay Road Local and
National Historic Districts

PROJECT REPRESENTATIVE

Doug Reynolds, Reynolds Architecture
1765 Maple Street, Suite 200
Northfield, IL 60093

SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness for a new single family residence on a vacant lot. Approval of a conceptual landscape plan, tree removal plan and overall site plan is also requested.

PROPERTY DESCRIPTION

The property is located on the south side of Robinson Drive, between Green Bay Road and the railroad tracks to the west. The property is located in the Thorndale subdivision which created six buildable lots on the original Thorndale Manor estate. The original house and coach house remain on separate lots within the subdivision. The property will be the third new residence in the development. The first new residence was constructed several years ago at the entrance to the subdivision near Green Bay Road. The Commission more recently approved the second residence in this subdivision at 295 Robinson Drive which is presently under construction.

The parcel that is the subject of this request is approximately 1.82 acres and is somewhat irregular in shape following the curve of Robinson Drive along the north side. In an effort to protect the wooded character of the Thorndale Subdivision, the perimeter of the property in this request is protected through a combination of easements and buffer areas which were established as part of the subdivision process and documented on the plat of subdivision. The easements and buffer areas impose limitations on the buildable area on the property.

- Two Landscape Buffer Areas are located on the site, one buffer area is 50 feet wide and is located along the north property line, and the second buffer area is 25 feet wide and is located along the south property line. The purpose of the south buffer area is to assure that through the preservation of existing vegetation and new plantings, a significant vegetative buffer is established and preserved between the new residences in the Thorndale Subdivision and the existing homes to the south.

- A 30 foot wide Conservation Area Easement follows the east property line. All vegetation is to remain within this area to retain a dense, natural tree and vegetation buffer.

STAFF EVALUATION

Site Plan

The proposed residence is oriented north, toward the street. A single curb cut is proposed. The proposed driveway curves through the front yard and around the east side of the house to access the attached three car garage. A circular motor court is proposed at the northeast corner of the home. Paver patios are proposed on the west and south sides of the house. An in-ground pool is proposed in the rear yard.

The site plan as presented shows no encroachment into the Conservation Easement and some encroachment into the Landscape Buffer Area which is necessary and was anticipated in order to provide access to the site from Robinson Drive.

Based on the information submitted by the petitioner, the amount of proposed impervious surface on the site totals 12,059 square feet, equal to 15% of the site. The building footprint totals 4,300 square feet and other hardscape surfaces including the driveway, motor court, walkways, patios and pool deck total 7,759 square feet. This total includes some hardscape such as the gravel driveway and motor court and paver patios which are considered semi-permeable.

Residence

As stated in the petitioner's statement of intent, the proposed residence is designed in a modern Tudor style. The building footprint is relatively compact. The home presents a one-and-a-half story massing with steeply pitched roof forms. The home features elements such as a limestone surround at the front entrance, a screen porch, dormers that break through the cornice, and bay windows.

Findings

A staff review of the applicable standards in the City Code is provided below. Findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

This standard is met. The proposed residence at its maximum height, is 33 feet and 6 inches as measured from the lowest point of existing grade adjacent to the house. The maximum height allowed for this property is 40 feet.

Standard 2 – Proportion of Front Façade.

This standard is met. The front façade of the main mass of the home presents a symmetrical design with a front facing gable form that projects from the main volume, creating depth to the front elevation and highlighting the front entry.

Standard 3 – Proportion of Openings.

This standard is met. The openings around the home are consistently vertically oriented and have tall, narrow proportions.

Standard 4 – Rhythm of Solids to Voids.

This standard is generally met. The rhythm of solids to voids is generally consistent on all elevations of the home. The house features larger expanses of openings on the south and west elevations to take advantage of views of the property and provide ample natural light into the great room, kitchen and dining room.

Standard 5 – Spacing on the Street.

This standard is met. The proposed house will not be visible from Green Bay Road, only from Robinson Drive, a private road. The Landscape Buffer Area and Conservation Easement are intended to minimize direct views of the residence from the streetscape. The overall subdivision is intended to have a dense wooded character.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. The front entrance is located on the north elevation, facing Robinson Drive. The front entrance is centered on the projecting gable form.

Standard 7 – Relationship of Materials and Texture.

This standard is met. The exterior is comprised of high quality and natural materials. The exterior wall material is stucco. The main roof will be slate and the dormers will have standing seam metal roofs. Aluminum clad windows with interior and exterior muntin bars are proposed. Wood fascia, rakeboards and soffits are proposed. The front door surround and the window sills are limestone. Stucco chimneys to match the exterior walls of the house and clay chimney pots are proposed.

The color palette consists of white stucco, gray windows and trim, and a black slate roof tile. This proposed residence distinguishes itself from the more trendy stark contemporary farmhouse designs recently seen on a number of occasions by the Commission in that the residence is designed in a modern version of the Tudor style and incorporates high quality natural materials, simple massing and roof forms, and refined architectural detailing.

Hardscape on the site includes a gravel driveway and motor court, paver patios and walkways and a concrete pool deck.

Standard 8 – Roof Shapes.

This standard is met. The primary roof forms are a mix of gable and hip roof types that consistently have a steep 12:12 pitch. The dormers have shallow roof pitches to minimize the appearance of the dormer roofs.

Standard 9 – Walls of Continuity.

This standard is met. The massing, scale, proportions of openings, and simple detailing are consistent on all elevations of the house.

Standard 10 – Scale.

This standard is met. The residence as presented complies with the building scale requirements. Based on the lot size, a residence of up to 8,142 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 814 square feet of design elements. The proposed house totals 8,058 square feet, and is 1% under the allowable square footage. The attached three car garage totals 760 square feet and there are 487 square feet of design elements.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. The front elevation appropriately faces north, toward Robinson Drive.

Standard 12 – Preservation of Historic Material.

This standard is not applicable to this request.

Standard 13 – Protection of Natural Resources.

This standard can be met. The center and west side of this particular site is generally open with more dense vegetation on the east and south sides of the site. As currently proposed, six trees are proposed for removal. The trees proposed for removal include four Red Oak and two Shagbark Hickory trees. Most of the trees that will be impacted by construction are in good to fair condition. Based on the condition, species and size of the trees proposed for removal a total of 50 replacement inches is required. In the event additional trees are compromised during construction, additional replacement inches will be required.

The petitioner submitted a preliminary landscape plan that reflects some new plantings across the property. The new plantings include Honeylocust, Ginkgo, Maple, and Spruce trees. A number of ornamental trees and shrubs are also proposed. Based on the preliminary landscape plan, the total number of replacement inches is not yet fully satisfied. As the landscape plan is more fully developed, the plan shall provide for the required replacement inches on site. The landscape plan as currently presented reflects minimal plantings in the landscape buffer area on the north side of the site. As noted above, the purpose of buffer areas is to assure that through the preservation of existing vegetation and infill with new plantings, a significant vegetative buffer is established and maintained. As the landscape plan is more fully developed, plantings shall be incorporated on the north side of the site to enhance the buffer area.

Standard 14 – Compatibility.

This standard is met. The design of the residence is compatible with the massing, roof forms and quality of materials found in the surrounding neighborhood.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request. The property is vacant, there are no existing structures.

Standard 16 – Surface cleaning.

This standard is not applicable to this request.

Standard 17 – Integrity of historic property.

This standard is generally met. The property is vacant, there are no existing structures. The existing dense vegetation within the Conservation Area and Landscape Buffer Areas will be retained as required by the plat of subdivision to preserve the historically natural character of the site.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Department of Community Development to surrounding property owners and the agenda for this meeting was posted at various public locations and is available on the City's website. As of the date of this writing, no correspondence was received regarding this request. Staff

has requested and is awaiting written approval of the residence from the Architectural Review Board for the Thorndale Subdivision.

RECOMMENDATION

Grant a Certificate of Appropriateness approving a new residence, conceptual landscape plan, tree removal plan and overall site plan for property located at 335 Robinson Drive, subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. Any refinements made in response to direction from the Commission, or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Commission shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.
2. At the time of submittal for a building permit, detailed drainage and grading plans must be submitted. Consistent with the subdivision approval, no grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices given the significant tree removal already proposed on the site and in the interest of minimizing stress on the trees intended to remain.
3. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist. Chain link fencing shall be required to protect trees intended for preservation in addition to any pre and post construction treatments or maintenance required by the City's Certified Arborist.
4. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and shall be subject to review and approval by the City's Certified Arborist. The plan shall provide for the 50 required replacement inches to the extent possible using good forestry practices, detail enhancements to the Landscape and Buffer Areas. Primarily native species shall be used.
5. Details of all exterior lighting, if any is proposed, shall be reflected on the plans submitted for permit. Cut sheets of all light fixtures should be provided and all fixtures shall direct light downward and the source of the light shall be fully shielded from view from off the property. The right to night, dark sky goals shall be satisfied. All lights shall be set on a timer to turn off no later than 11 p.m. except for lights operated by motion detectors.
6. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize impacts on surrounding properties and on all protected easement and preservation areas.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 335 Robinson Drive Owner(s) Doug and Maggie Reynolds
 Architect Doug Reynolds Reviewed by: Jen Baehr
 Date 7/12/2021
 Lot Area 79271 sq. ft.

Square Footage of New Residence:

1st floor 3500 + 2nd floor 4262 + 3rd floor 297 = 8058 sq. ft.
 Design Element Allowance = 814 sq. ft.
 Total Actual Design Elements = 487 sq. ft. Excess = 0 sq. ft.
 Garage 760 sf actual ; 800 sf allowance Excess = 0 sq. ft.
 Garage Width 22 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*
 Basement Area = 0 sq. ft.
 Accessory buildings = 0 sq. ft.
TOTAL SQUARE FOOTAGE = 8058 sq. ft.
TOTAL SQUARE FOOTAGE ALLOWED = 8142 sq. ft.
DIFFERENTIAL = -84 sq. ft.
Under Maximum

Allowable Height: 40 ft. Actual Height 33'-6" ft.

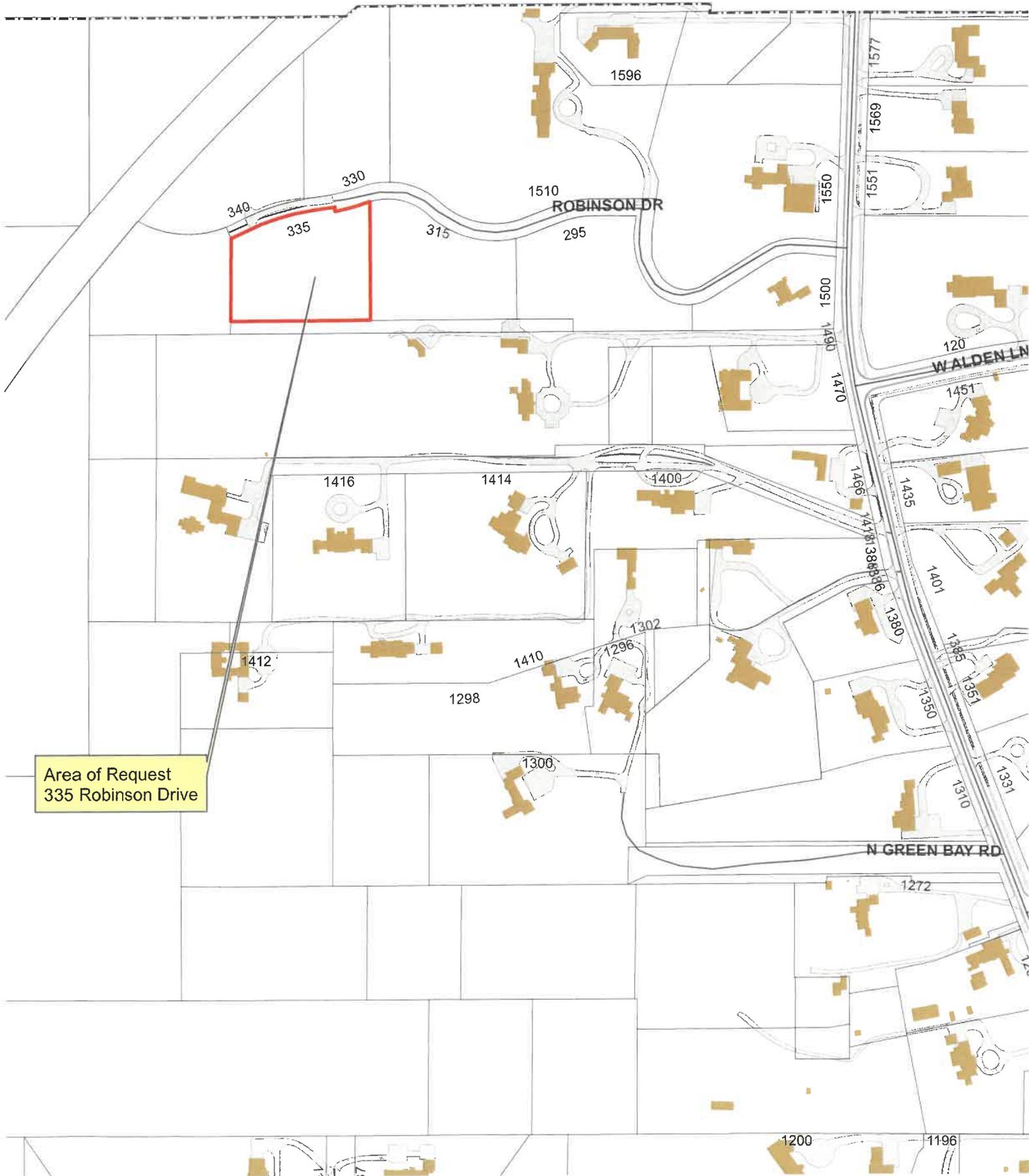
NET RESULT:

84 sq. ft. is

1% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 814 sq. ft.
 Front & Side Porches = 0 sq. ft.
 Rear & Side Screen Porches = 398 sq. ft.
 Covered Entries = 14 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Individual Dormers = 75 sq. ft.
 Bay Windows = 0 sq. ft.
Total Actual Design Elements = 487 sq. ft. **Excess Design Elements =** 0 sq. ft.



Area of Request
335 Robinson Drive



Area of Request
335 Robinson Drive

Area of Request
335 Robinson Drive





REYNOLDS ARCHITECTURE
DESIGN AND CONSTRUCTION

Standards for Replacement Structures

335 Robinson Drive
Lake Forest, Illinois

Height The proposed height of the new 1.5-story home is approximately 34' and is well below the maximum allowable height of 40'.

Proportion of Front Façade

The front façade is articulated in plan and elevation which combines to break the façade into masses that are proportional the overall scale of the home.

Proportion of Openings

The windows are consistent within the facade and compatible with the style.

Rhythm of solids to voids in front facades

The successful rhythm of solids and voids can be seen on the front elevation and renderings.

Rhythm of spacing and structures on streets

There are no adjacent structures.

Rhythm of entry porches and other projections

The proposed entry, bay window and balconies compliment the façade by providing focal points on each elevation.

Relationship of materials and texture

The Modern Tudor style of the home was conceived to have a mostly white stucco walls with a dark slate roof and medium gray windows for contrast and reinforce the rhythm of the openings.

Roof Shapes

All or the primary roof forms are created at a 12:12 pitch. A mix of hip and gable form are utilized to control mass and provide contrast that allows certain elements to be emphasized. The dormers are executed with a shallow pitched hip roof to create the illusion of a flat roof on those elements.

Walls of continuity

This does not seem to apply to this site or project.

Scale of Structure

The scale of the proposed home is a relatively modest 1-1/2 story structure with 2nd floor spaces expressed with dormers that further breakdown the overall composition. The garage is placed near the rear of the home to reduce the overall scale at the road.

Directional Expression of the front elevation

The proposed front elevation is facing the road.

Preserving distinguishing features

n/a

Protection of resources

Many of the trees in the buildable parts of the site, including the larger heritage oak tree in the SE corner of the property, are either dead or in decline. Most of the eastern and southern portions of the lot is overgrown with buckthorn. We plan to clear the buckthorn wherever possible and save as many of the healthy trees as possible.

New Construction

See above comments about the proposed architecture.

Repair to deteriorated features

n/a

Surface Cleaning

No surface cleaning is proposed as part of this application.

Reversibility of Additions and Alterations

No additions or alterations are proposed as part of this application.



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- Stone
- Brick
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other _____

Color and/or Type of Material white

Foundation Material

Exposed Foundation Material n/a

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Color of Finish Gray

Finish and Color of Windows

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other _____

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Other _____

Window Trim

- Limestone
- Brick
- Wood
- Other _____

Fascias, Soffits, Rakeboards

- Wood
- Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal kynar coated alum. standing seam for dormer roofs
- Other _____

Flashing Material

- Copper
- Other Kynar coated aluminum
- Sheet Metal

Color of Material Vermont Black

Gutters and Downspouts

- Copper
- Aluminum (Kynar coated)
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

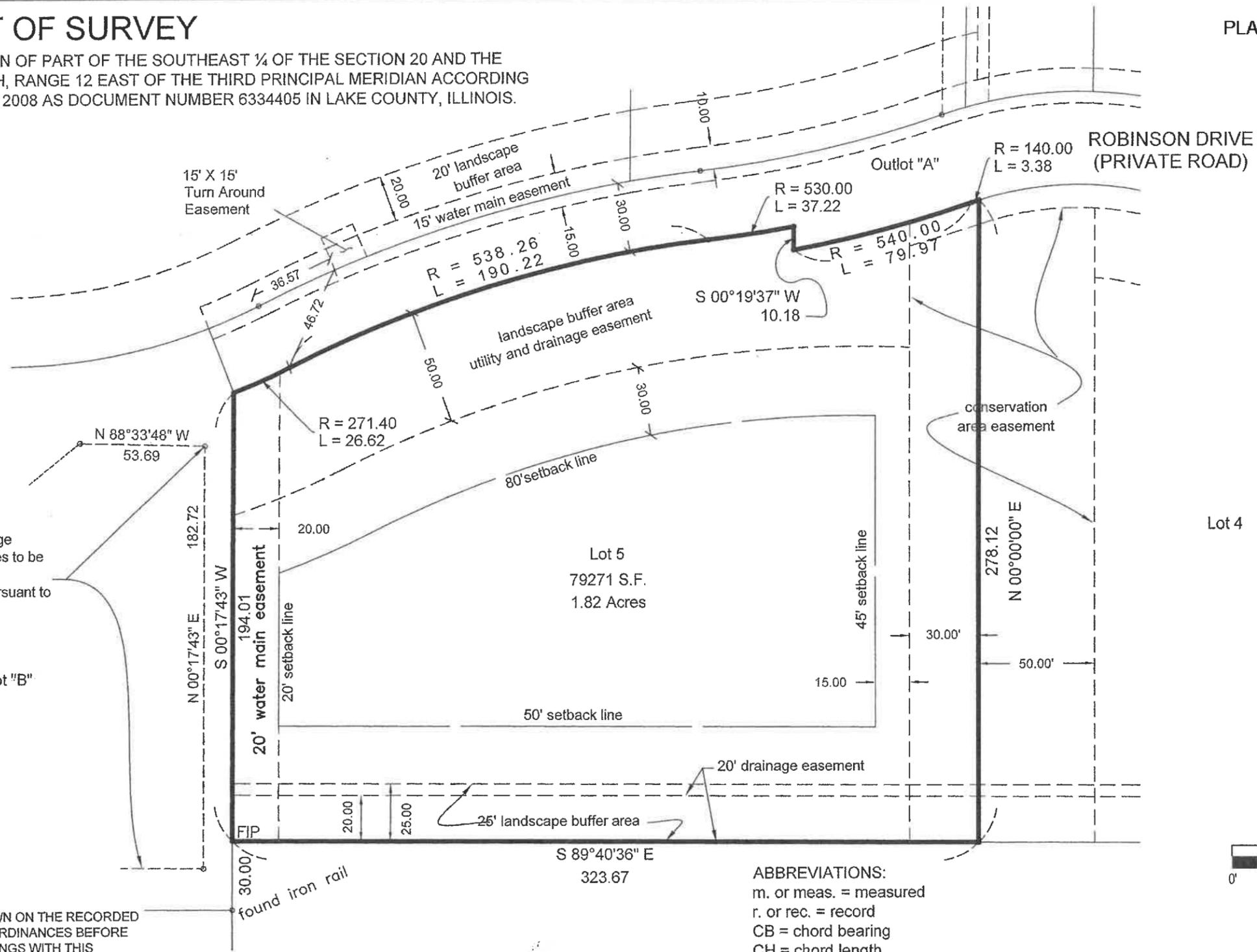
PLAT OF SURVEY

PLAT OF SURVEY

LOT 5 OF THORNDALE, BEING A SUBDIVISION OF PART OF THE SOUTHEAST ¼ OF THE SECTION 20 AND THE NORTH ½ OF SECTION 29, TOWNSHIP 44 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED APRIL 17, 2008 AS DOCUMENT NUMBER 6334405 IN LAKE COUNTY, ILLINOIS.

detention, stormwater and drainage easement and their appurtenances to be maintained by the "THORNDALE HOMEOWNERS Association" pursuant to the Thorndale Declaration

Outlot "B"



PLAT IS VOID IF IMPRESSED SEAL DOES NOT APPEAR

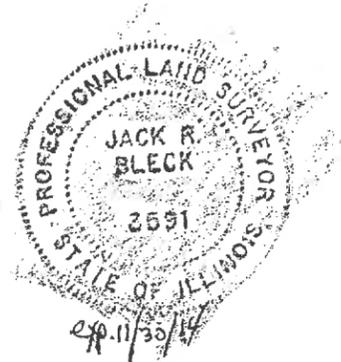
STATE OF ILLINOIS } S.S.
COUNTY OF LAKE }

NOTE: ONLY THOSE BUILDING LINES OR EASEMENTS SHOWN ON THE RECORDED SUBDIVISION PLAT ARE SHOWN HEREON; CHECK LOCAL ORDINANCES BEFORE BUILDING. COMPARE YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

ON BEHALF OF BLECK ENGINEERING CO., INC., I, JACK R. BLECK, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED IN THE ABOVE CAPTION WAS SURVEYED AND STAKED BY ME, OR UNDER MY DIRECTION, AND THE PLAT DRAWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY. MEASUREMENTS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

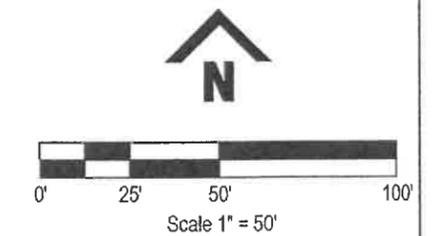
DATED AT LAKE FOREST, ILLINOIS, THIS 14TH DAY OF FEBRUARY A.D., 2014.

BY Jack R. Bleck
REGISTERED ILLINOIS LAND SURVEYOR NO. 3591



ABBREVIATIONS:
m. or meas. = measured
r. or rec. = record
CB = chord bearing
CH = chord length
L = arc length
N = North
S = South
E = East
W = West
S.F. = square feet
FIP = found iron pipe
FIR = found iron rod

Note: Iron rods were set at all lot corners unless noted otherwise.

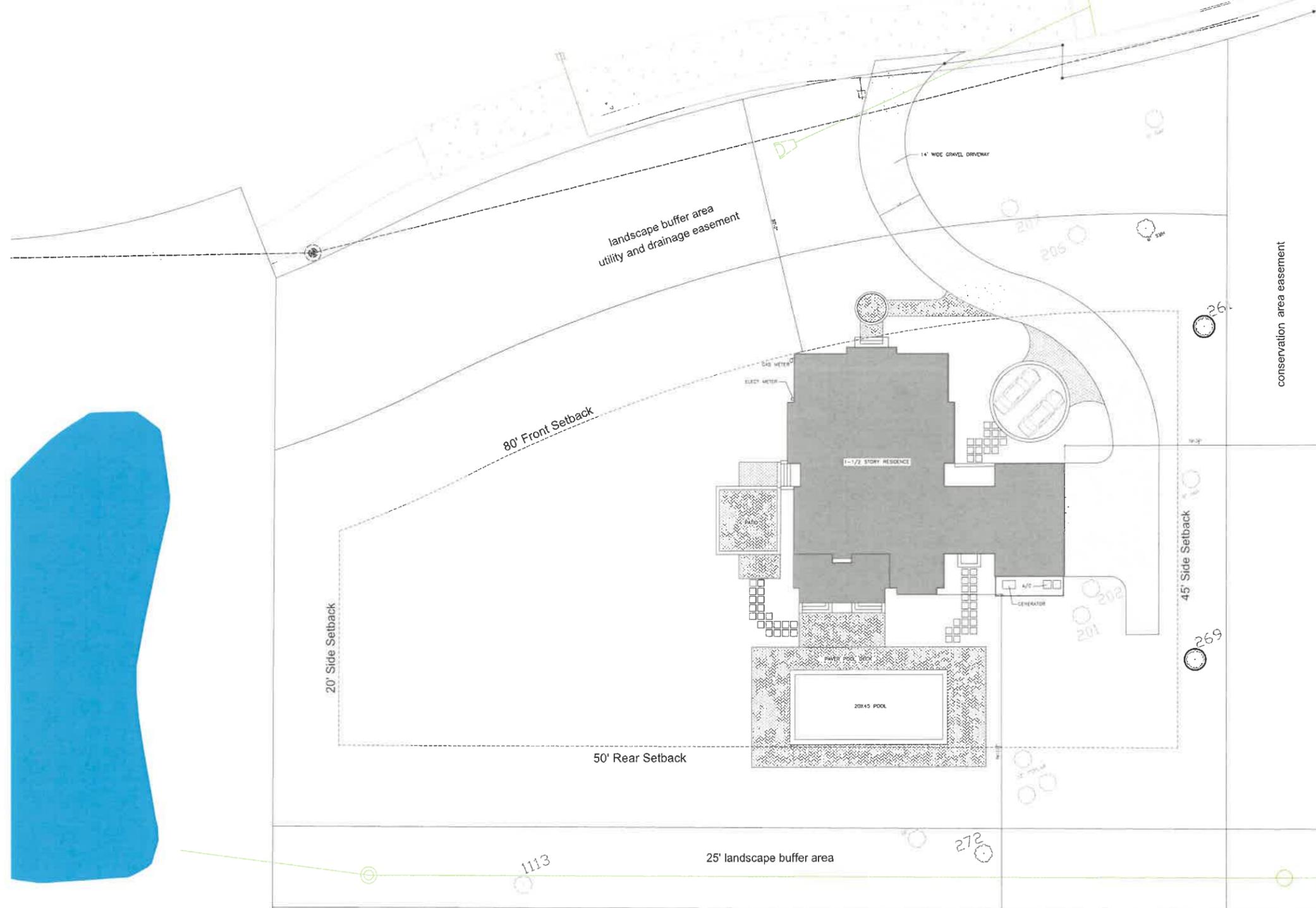


Job No. 70-532



Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045

T 847.295.5200 F 847.295.7081
www.bleckeng.com



PROPOSED SITE PLAN

THE REYNOLDS RESIDENCE
335 ROBINSON DRIVE LAKE FOREST, ILLINOIS





REYNOLDS ARCHITECTURE
DESIGN AND CONSTRUCTION

Impervious Surface Calculations

335 Robinson Drive
Lake Forest, Illinois

Lot Size 79,271 sf

Proposed Impervious Lot Area

House	4,300 sf
Driveway (Gravel)	3,452 sf
Parking Pad (Gravel)	490 sf
Parking Pad Apron (pavers)	230 sf
Pool Deck	1,764 sf
Patios (pavers)	878 sf
Stoops/Rear Screened Porch	690 sf
Front Walk	255 sf
Total	12,059 sf
% of Lot	15.21%



PROPOSED EAST ELEVATION

Revisions

5/14/21	HPC REVIEW
7/12/21	HPC REVIEW



28' ABOVE 1ST FLOOR

19' ABOVE 1ST FLOOR

FIRST FLOOR

PAINTED GARAGE DOOR

FIRST FLOOR

CLAY CHIMNEY POT (SAVOY)

STUCCO CHIMNEY

VERMONT BLACK SLATE ROOF

KYNAR COATED ALUMINUM GUTTERS AND FLASHINGS (GRAY)

CEDAR RAKE, SOFFIT AND FACIA, PAINTED

HARD STUCCO W/ INTEGRAL FINISH (WHITE)

LIMESTONE ENTRY

ALUMINUM CLAD WINDOW (GRAY)

LIMESTONE SILL

688

EAST ELEVATION



DOUGLAS REYNOLDS ARCHITECT
 1765 MAPLE STREET
 SUITE 200
 NORTHBFIELD, ILLINOIS 60093
 VOICE 847.501.3150
 ReynoldsArchitecture.com

The Reynolds Residence
 335 Robinson Drive Lake Forest, Illinois

EXTERIOR ELEVATIONS

Sheet

A3.3



5/14/21	HPC REVIEW
7/12/21	HPC REVIEW



DOUGLAS REYNOLDS ARCHITECT
 1765 MARLE STREET SUITE 200
 NORTHFIELD, ILLINOIS 60093
 VOICE 847.581.3159
 ReynoldsArchitects.com

The Reynolds Residence
 335 Robinson Drive Lake Forest, Illinois

EXTERIOR ELEVATIONS

Sheet

A3.2





5/14/21	HFC REVIEW
7/12/21	HFC REVIEW



WEST ELEVATION



DOUGLAS
REYNOLDS
ARCHITECT

1765 MAPLE STREET
SUITE 200
NORTHFIELD, ILLINOIS 60093
VOICE 847.531.3550
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335 Robinson Drive Lake Forest, Illinois

EXTERIOR ELEVATIONS

Sheet

A3.1

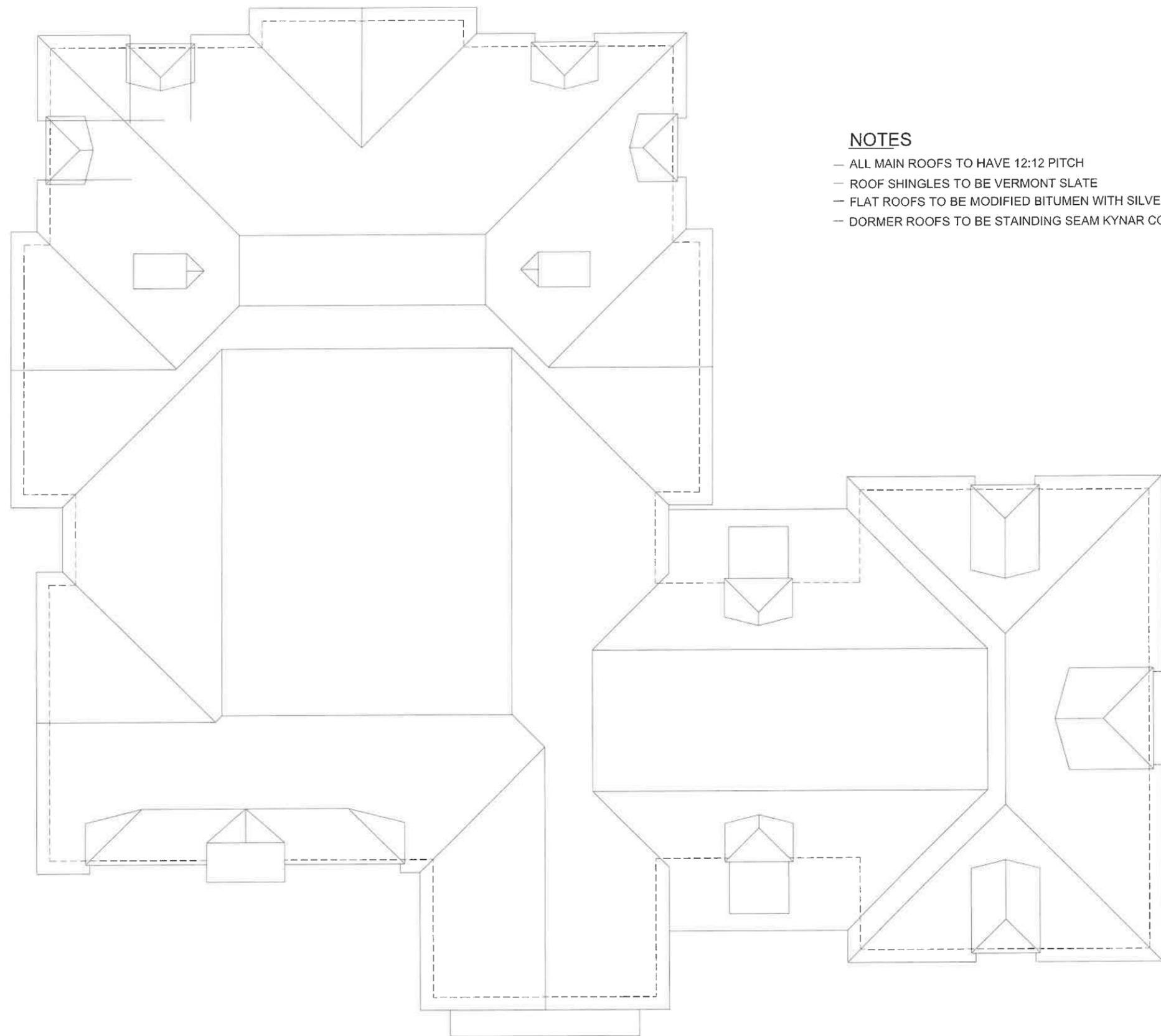








5/14/21	HPC REVIEW
7/12/21	HPC REVIEW



NOTES

- ALL MAIN ROOFS TO HAVE 12:12 PITCH
- ROOF SHINGLES TO BE VERMONT SLATE
- FLAT ROOFS TO BE MODIFIED BITUMEN WITH SILVER COATING
- DORMER ROOFS TO BE STAINING SEAM KYNAR COATED ALUMINUM




DOUGLAS REYNOLDS ARCHITECT
1763 MAPLE STREET
SUITE 200
NORTHFIELD, ILLINOIS 60093
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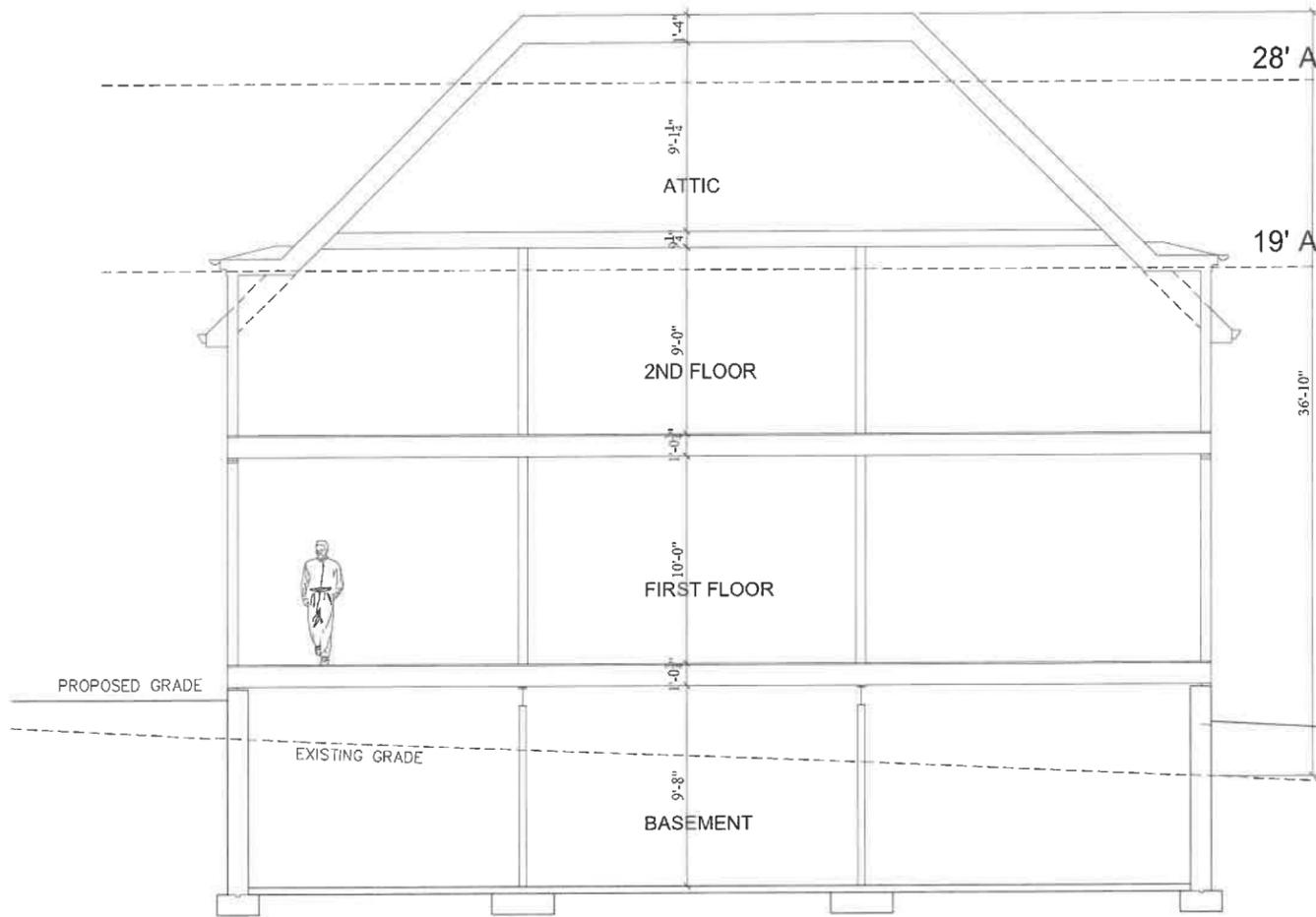
PROPOSED ROOF PLAN
 THE REYNOLDS RESIDENCE
 335 ROBINSON DRIVE LAKE FOREST, ILLINOIS

ROOF PLAN

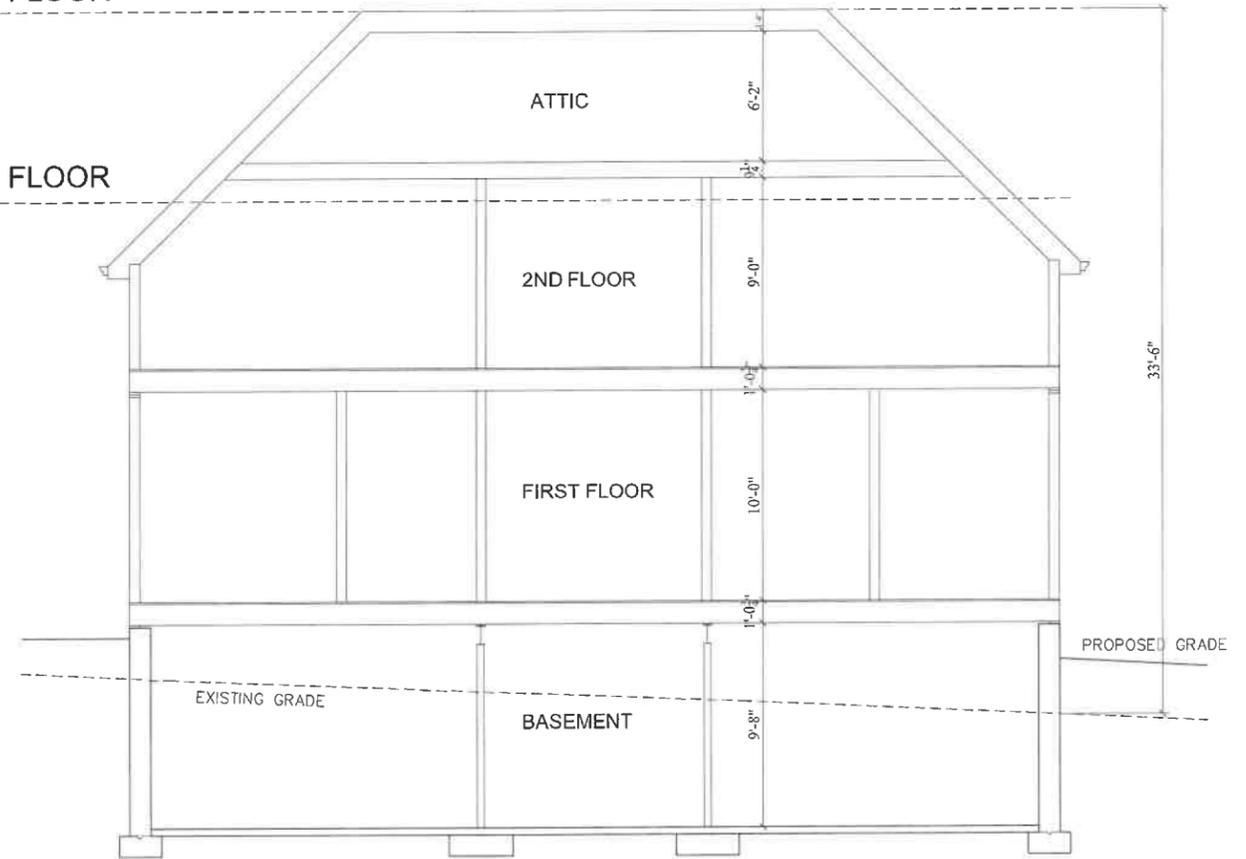
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A2.2

5/14/21	HPC REVIEW	
7/12/21	HPC REVIEW	



EAST -WEST BUILDING SECTION 1



EAST -WEST BUILDING SECTION 2



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BUILDING SECTIONS

Sheet

A3.4

SITE SECTION

Revisions

5/14/21	HPC REVIEW
7/13/21	HPC REVIEW




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SITE SECTION

Sheet

A4.0

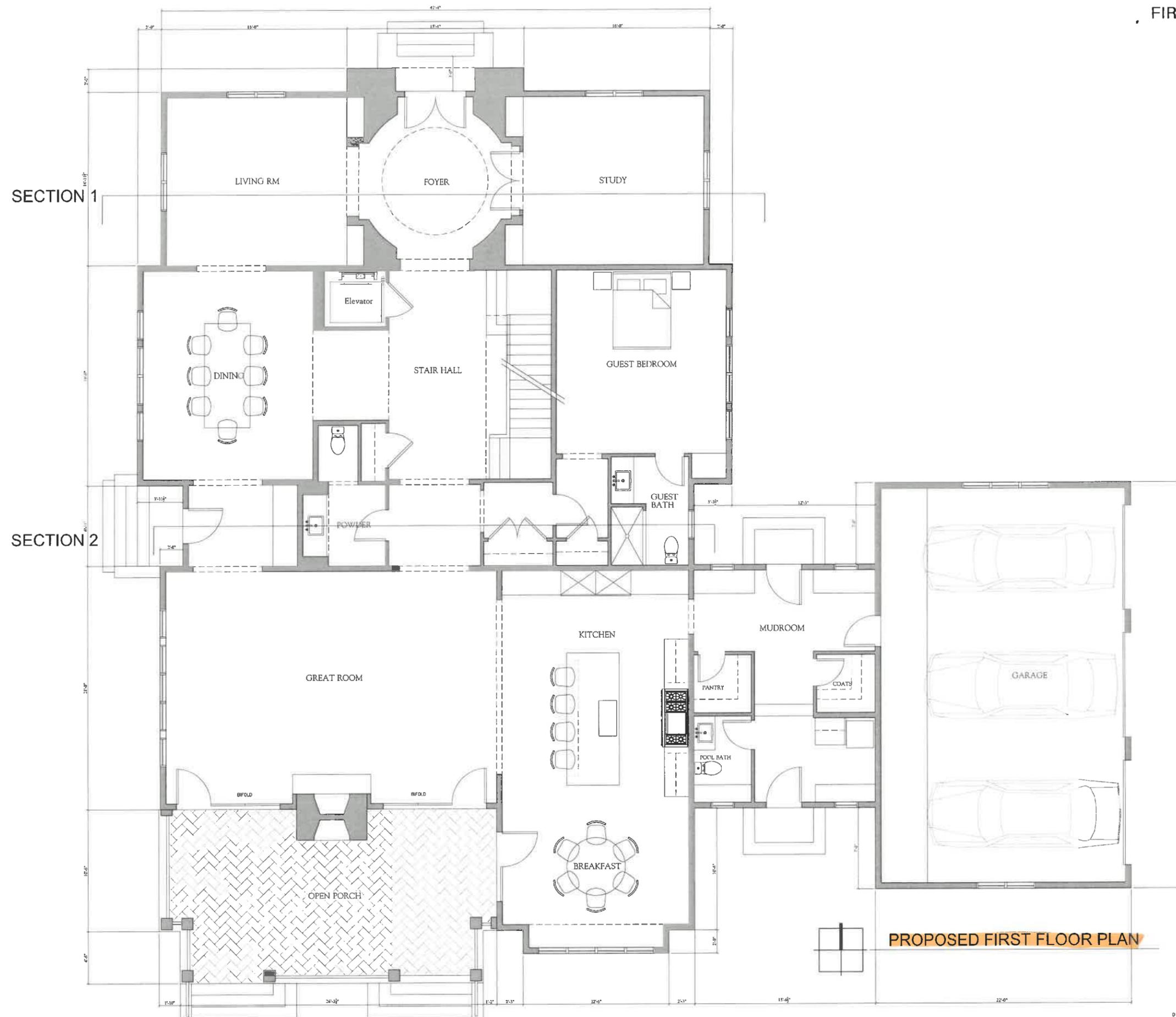


SITE SECTION

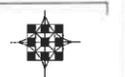
FIRST FLOOR PLAN

Revisions

5/14/21	HPC REVIEW
7/12/21	HPC REVIEW



PROPOSED FIRST FLOOR PLAN



DOUGLAS REYNOLDS ARCHITECT
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FIRST FLOOR PLAN

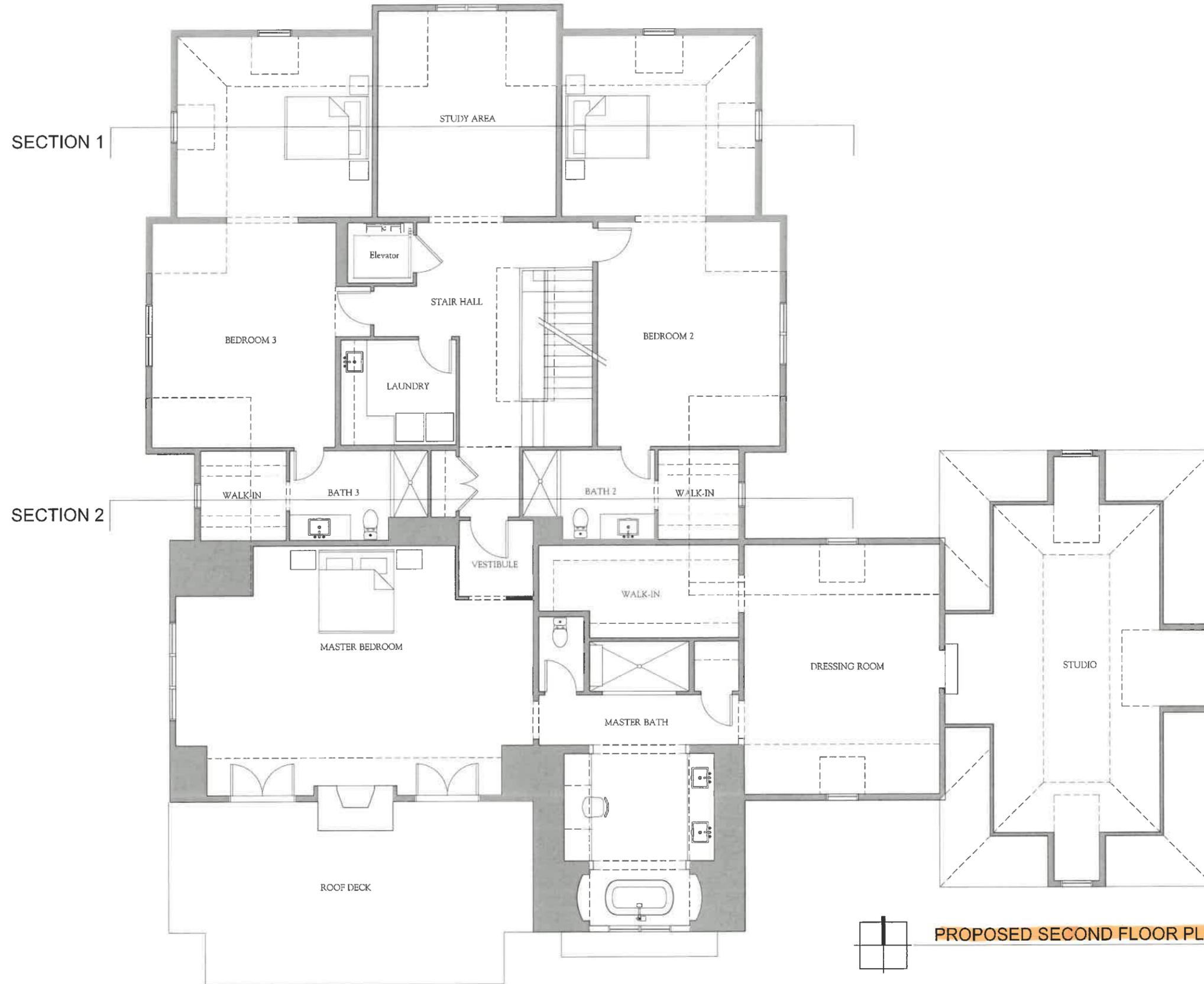
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A2.0

SECOND FLOOR PLAN

Revisions

5/14/21	HFC REVIEW
7/12/21	HFC REVIEW



DOUGLAS
REYNOLDS
ARCHITECT
1765 MAPLE STREET
SUITE 200
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PROPOSED SECOND FLOOR PLAN

2ND FLOOR PLAN

Sheet

A2.1

PRELIMINARY SITE GRADING & TREE REMOVAL PLAN

BLECK
engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

335 Robinson Drive
Lake Forest, IL



BENCHMARK:
ELEVATION = Arrow Nail For Hydrant on
East Side of Green Bay Road Approximately
130 Feet South of Entrance to 1510 North
Green Bay Road 715.11'

ISSUED DATE: ISSUED FOR

06.28.2021 HFC

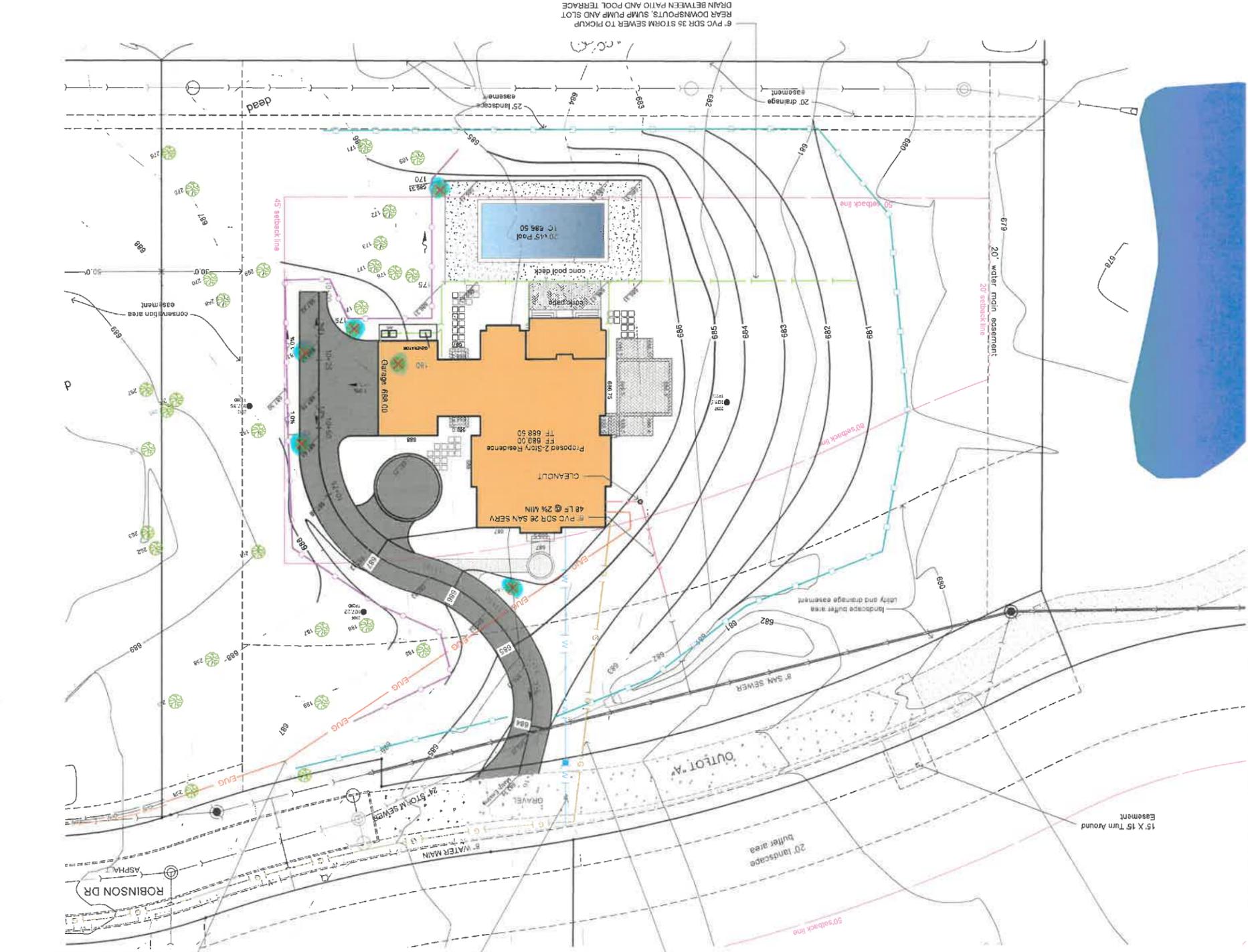
PROFESSIONAL SEAL

"To the best of our knowledge and belief,
the drawings, specifications and related
information prepared by us for the
construction of the project, and the
work to be done thereunder, comply
with the requirements of the
Professional Engineering Act of the
State of Illinois, and we are not aware
of any circumstances which would
render our performance deficient in
any way."

Michael G. Bleck, PE 05.28.2021
1765 Maple Street Suite 200
Northfield, IL 60093
Project No. 70-523-5
Checked By: mgb
Drawn By: MB

3
Site Grading Plan
Drawing Name

110 LF 1.5" O.U. TYPE K TUBE WATER SERVICE
1.5" CURB STOP & BOX
ELECTRIC, TELEPHONE, CABLE
DIRECTIONAL DRILL THROUGH ROOT ZONE



- Notes:
1. Downspouts in splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
 2. For downspouts tying into sewer system, provide 2" air gap.
- ① STABILIZED CONSTRUCTION ENTRANCE
Use existing driveway
- ② TREE PRESERVATION & CONSTRUCTION LIMITS FENCE
Temporary 4' Tall Green Show Fence w/ Steel Posts
- ③ SILT FILTER FENCE
Shall comply with ASHTO Standard M 288-00
- ④ MUD AND DUST CONTROL
- ⑤ TEMPORARY INLET PROTECTION
All open lid structures to have Catch All Basins or approved equal
- ⑥ EROSION CONTROL BLANKET
North American Green S75
- TREE FENCE
- SILT FENCE

Tree Inventory List 5-335 Robinson Lake Forest, IL 60095

Tree No.	Common Name	Scientific Name	DBH	Condition
109	Green Ash	Fraxinus pennsylvanica	14"	D-Dead
110	Black Cherry	Prunus serotina	15"	D-Dead
111	Green Ash	Fraxinus pennsylvanica	14.5"	D-Dead
112	Green Ash	Fraxinus pennsylvanica	15"	D-Dead
113	Green Ash	Fraxinus pennsylvanica	15.5"	D-Dead
114	Green Ash	Fraxinus pennsylvanica	16"	D-Dead
115	Green Ash	Fraxinus pennsylvanica	16.5"	D-Dead
116	Green Ash	Fraxinus pennsylvanica	17"	D-Dead
117	Green Ash	Fraxinus pennsylvanica	17.5"	D-Dead
118	Green Ash	Fraxinus pennsylvanica	18"	D-Dead
119	Green Ash	Fraxinus pennsylvanica	18.5"	D-Dead
120	Green Ash	Fraxinus pennsylvanica	19"	D-Dead
121	Green Ash	Fraxinus pennsylvanica	19.5"	D-Dead
122	Green Ash	Fraxinus pennsylvanica	20"	D-Dead
123	Green Ash	Fraxinus pennsylvanica	20.5"	D-Dead
124	Green Ash	Fraxinus pennsylvanica	21"	D-Dead
125	Green Ash	Fraxinus pennsylvanica	21.5"	D-Dead
126	Green Ash	Fraxinus pennsylvanica	22"	D-Dead
127	Green Ash	Fraxinus pennsylvanica	22.5"	D-Dead
128	Green Ash	Fraxinus pennsylvanica	23"	D-Dead
129	Green Ash	Fraxinus pennsylvanica	23.5"	D-Dead
130	Green Ash	Fraxinus pennsylvanica	24"	D-Dead
131	Green Ash	Fraxinus pennsylvanica	24.5"	D-Dead
132	Green Ash	Fraxinus pennsylvanica	25"	D-Dead
133	Green Ash	Fraxinus pennsylvanica	25.5"	D-Dead
134	Green Ash	Fraxinus pennsylvanica	26"	D-Dead
135	Green Ash	Fraxinus pennsylvanica	26.5"	D-Dead
136	Green Ash	Fraxinus pennsylvanica	27"	D-Dead
137	Green Ash	Fraxinus pennsylvanica	27.5"	D-Dead
138	Green Ash	Fraxinus pennsylvanica	28"	D-Dead
139	Green Ash	Fraxinus pennsylvanica	28.5"	D-Dead
140	Green Ash	Fraxinus pennsylvanica	29"	D-Dead
141	Green Ash	Fraxinus pennsylvanica	29.5"	D-Dead
142	Green Ash	Fraxinus pennsylvanica	30"	D-Dead
143	Green Ash	Fraxinus pennsylvanica	30.5"	D-Dead
144	Green Ash	Fraxinus pennsylvanica	31"	D-Dead
145	Green Ash	Fraxinus pennsylvanica	31.5"	D-Dead
146	Green Ash	Fraxinus pennsylvanica	32"	D-Dead
147	Green Ash	Fraxinus pennsylvanica	32.5"	D-Dead
148	Green Ash	Fraxinus pennsylvanica	33"	D-Dead
149	Green Ash	Fraxinus pennsylvanica	33.5"	D-Dead
150	Green Ash	Fraxinus pennsylvanica	34"	D-Dead
151	Green Ash	Fraxinus pennsylvanica	34.5"	D-Dead
152	Green Ash	Fraxinus pennsylvanica	35"	D-Dead
153	Green Ash	Fraxinus pennsylvanica	35.5"	D-Dead
154	Green Ash	Fraxinus pennsylvanica	36"	D-Dead
155	Green Ash	Fraxinus pennsylvanica	36.5"	D-Dead
156	Green Ash	Fraxinus pennsylvanica	37"	D-Dead
157	Green Ash	Fraxinus pennsylvanica	37.5"	D-Dead
158	Green Ash	Fraxinus pennsylvanica	38"	D-Dead
159	Green Ash	Fraxinus pennsylvanica	38.5"	D-Dead
160	Green Ash	Fraxinus pennsylvanica	39"	D-Dead
161	Green Ash	Fraxinus pennsylvanica	39.5"	D-Dead
162	Green Ash	Fraxinus pennsylvanica	40"	D-Dead
163	Green Ash	Fraxinus pennsylvanica	40.5"	D-Dead
164	Green Ash	Fraxinus pennsylvanica	41"	D-Dead
165	Green Ash	Fraxinus pennsylvanica	41.5"	D-Dead
166	Green Ash	Fraxinus pennsylvanica	42"	D-Dead
167	Green Ash	Fraxinus pennsylvanica	42.5"	D-Dead
168	Green Ash	Fraxinus pennsylvanica	43"	D-Dead
169	Green Ash	Fraxinus pennsylvanica	43.5"	D-Dead
170	Green Ash	Fraxinus pennsylvanica	44"	D-Dead
171	Green Ash	Fraxinus pennsylvanica	44.5"	D-Dead
172	Green Ash	Fraxinus pennsylvanica	45"	D-Dead
173	Green Ash	Fraxinus pennsylvanica	45.5"	D-Dead
174	Green Ash	Fraxinus pennsylvanica	46"	D-Dead
175	Green Ash	Fraxinus pennsylvanica	46.5"	D-Dead
176	Green Ash	Fraxinus pennsylvanica	47"	D-Dead
177	Green Ash	Fraxinus pennsylvanica	47.5"	D-Dead
178	Green Ash	Fraxinus pennsylvanica	48"	D-Dead
179	Green Ash	Fraxinus pennsylvanica	48.5"	D-Dead
180	Green Ash	Fraxinus pennsylvanica	49"	D-Dead
181	Green Ash	Fraxinus pennsylvanica	49.5"	D-Dead
182	Green Ash	Fraxinus pennsylvanica	50"	D-Dead
183	Green Ash	Fraxinus pennsylvanica	50.5"	D-Dead
184	Green Ash	Fraxinus pennsylvanica	51"	D-Dead
185	Green Ash	Fraxinus pennsylvanica	51.5"	D-Dead
186	Green Ash	Fraxinus pennsylvanica	52"	D-Dead
187	Green Ash	Fraxinus pennsylvanica	52.5"	D-Dead
188	Green Ash	Fraxinus pennsylvanica	53"	D-Dead
189	Green Ash	Fraxinus pennsylvanica	53.5"	D-Dead
190	Green Ash	Fraxinus pennsylvanica	54"	D-Dead
191	Green Ash	Fraxinus pennsylvanica	54.5"	D-Dead
192	Green Ash	Fraxinus pennsylvanica	55"	D-Dead
193	Green Ash	Fraxinus pennsylvanica	55.5"	D-Dead
194	Green Ash	Fraxinus pennsylvanica	56"	D-Dead
195	Green Ash	Fraxinus pennsylvanica	56.5"	D-Dead
196	Green Ash	Fraxinus pennsylvanica	57"	D-Dead
197	Green Ash	Fraxinus pennsylvanica	57.5"	D-Dead
198	Green Ash	Fraxinus pennsylvanica	58"	D-Dead
199	Green Ash	Fraxinus pennsylvanica	58.5"	D-Dead
200	Green Ash	Fraxinus pennsylvanica	59"	D-Dead
201	Green Ash	Fraxinus pennsylvanica	59.5"	D-Dead
202	Green Ash	Fraxinus pennsylvanica	60"	D-Dead
203	Green Ash	Fraxinus pennsylvanica	60.5"	D-Dead
204	Green Ash	Fraxinus pennsylvanica	61"	D-Dead
205	Green Ash	Fraxinus pennsylvanica	61.5"	D-Dead
206	Green Ash	Fraxinus pennsylvanica	62"	D-Dead
207	Green Ash	Fraxinus pennsylvanica	62.5"	D-Dead
208	Green Ash	Fraxinus pennsylvanica	63"	D-Dead
209	Green Ash	Fraxinus pennsylvanica	63.5"	D-Dead
210	Green Ash	Fraxinus pennsylvanica	64"	D-Dead
211	Green Ash	Fraxinus pennsylvanica	64.5"	D-Dead
212	Green Ash	Fraxinus pennsylvanica	65"	D-Dead
213	Green Ash	Fraxinus pennsylvanica	65.5"	D-Dead
214	Green Ash	Fraxinus pennsylvanica	66"	D-Dead
215	Green Ash	Fraxinus pennsylvanica	66.5"	D-Dead
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217	Green Ash	Fraxinus pennsylvanica	67.5"	D-Dead
218	Green Ash	Fraxinus pennsylvanica	68"	D-Dead
219	Green Ash	Fraxinus pennsylvanica	68.5"	D-Dead
220	Green Ash	Fraxinus pennsylvanica	69"	D-Dead
221	Green Ash	Fraxinus pennsylvanica	69.5"	D-Dead
222	Green Ash	Fraxinus pennsylvanica	70"	D-Dead
223	Green Ash	Fraxinus pennsylvanica	70.5"	D-Dead
224	Green Ash	Fraxinus pennsylvanica	71"	D-Dead
225	Green Ash	Fraxinus pennsylvanica	71.5"	D-Dead
226	Green Ash	Fraxinus pennsylvanica	72"	D-Dead
227	Green Ash	Fraxinus pennsylvanica	72.5"	D-Dead
228	Green Ash	Fraxinus pennsylvanica	73"	D-Dead
229	Green Ash	Fraxinus pennsylvanica	73.5"	D-Dead
230	Green Ash	Fraxinus pennsylvanica	74"	D-Dead
231	Green Ash	Fraxinus pennsylvanica	74.5"	D-Dead
232	Green Ash	Fraxinus pennsylvanica	75"	D-Dead
233	Green Ash	Fraxinus pennsylvanica	75.5"	D-Dead
234	Green Ash	Fraxinus pennsylvanica	76"	D-Dead
235	Green Ash	Fraxinus pennsylvanica	76.5"	D-Dead
236	Green Ash	Fraxinus pennsylvanica	77"	D-Dead
237	Green Ash	Fraxinus pennsylvanica	77.5"	D-Dead
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239	Green Ash	Fraxinus pennsylvanica	78.5"	D-Dead
240	Green Ash	Fraxinus pennsylvanica	79"	D-Dead
241	Green Ash	Fraxinus pennsylvanica	79.5"	D-Dead
242	Green Ash	Fraxinus pennsylvanica	80"	D-Dead
243	Green Ash	Fraxinus pennsylvanica	80.5"	D-Dead
244	Green Ash	Fraxinus pennsylvanica	81"	D-Dead
245	Green Ash	Fraxinus pennsylvanica	81.5"	D-Dead
246	Green Ash	Fraxinus pennsylvanica	82"	D-Dead
247	Green Ash	Fraxinus pennsylvanica	82.5"	D-Dead
248	Green Ash	Fraxinus pennsylvanica	83"	D-Dead
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256	Green Ash	Fraxinus pennsylvanica	87"	D-Dead
257	Green Ash	Fraxinus pennsylvanica	87.5"	D-Dead
258	Green Ash	Fraxinus pennsylvanica	88"	D-Dead
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265	Green Ash	Fraxinus pennsylvanica	91.5"	D-Dead
266	Green Ash	Fraxinus pennsylvanica	92"	D-Dead
267	Green Ash	Fraxinus pennsylvanica	92.5"	D-Dead
268	Green Ash	Fraxinus pennsylvanica	93"	D-Dead
269	Green Ash	Fraxinus pennsylvanica	93.5"	D-Dead
270	Green Ash	Fraxinus pennsylvanica	94"	D-Dead
271	Green Ash	Fraxinus pennsylvanica	94.5"	D-Dead
272	Green Ash	Fraxinus pennsylvanica	95"	D-Dead
273	Green Ash	Fraxinus pennsylvanica	95.5"	D-Dead
274	Green Ash	Fraxinus pennsylvanica	96"	D-Dead
275	Green Ash	Fraxinus pennsylvanica	96.5"	D-Dead
276	Green Ash	Fraxinus pennsylvanica	97"	D-Dead
277	Green Ash	Fraxinus pennsylvanica	97.5"	D-Dead
278	Green Ash	Fraxinus pennsylvanica	98"	D-Dead
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280	Green Ash	Fraxinus pennsylvanica	99"	D-Dead
281	Green Ash	Fraxinus pennsylvanica	99.5"	D-Dead
282	Green Ash	Fraxinus pennsylvanica	100"	D-Dead
283	Green Ash	Fraxinus pennsylvanica	100.5"	D-Dead
284	Green Ash	Fraxinus pennsylvanica	101"	D-Dead
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286	Green Ash	Fraxinus pennsylvanica	102"	D-Dead
287	Green Ash	Fraxinus pennsylvanica	102.5"	D-Dead
288	Green Ash	Fraxinus pennsylvanica	103"	D-Dead
289	Green Ash	Fraxinus pennsylvanica	103.5"	D-Dead
290	Green Ash	Fraxinus pennsylvanica	104"	D-Dead
291	Green Ash	Fraxinus pennsylvanica	104.5"	D-Dead
292	Green Ash	Fraxinus pennsylvanica	105"	D-Dead
293	Green Ash	Fraxinus pennsylvanica	105.5"	D-Dead
294	Green Ash	Fraxinus pennsylvanica	106"	D-Dead
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296	Green Ash	Fraxinus pennsylvanica	107"	D-Dead
297	Green Ash	Fraxinus pennsylvanica	107.5"	D-Dead
298	Green Ash	Fraxinus pennsylvanica	108"	D-Dead
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300	Green Ash	Fraxinus pennsylvanica	109"	D-Dead
301	Green Ash	Fraxinus pennsylvanica	109.5"	D-Dead
302	Green Ash	Fraxinus pennsylvanica	110"	D-Dead
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304	Green Ash	Fraxinus pennsylvanica	111"	D-Dead
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306	Green Ash	Fraxinus pennsylvanica	112"	D-Dead
307	Green Ash	Fraxinus pennsylvanica	112.5"	D-Dead
308	Green Ash	Fraxinus pennsylvanica	113"	D-Dead
309	Green Ash	Fraxinus pennsylvanica	113.5"	D-Dead
310	Green Ash	Fraxinus pennsylvanica	114"	D-Dead
311	Green Ash	Fraxinus pennsylvanica	114.5"	D-Dead
312	Green Ash	Fraxinus pennsylvanica	115"	D-Dead
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316	Green Ash	Fraxinus pennsylvanica	117"	D-Dead
317	Green Ash	Fraxinus pennsylvanica	117.5"	D-Dead
318	Green Ash	Fraxinus pennsylvanica	118"	D-Dead
319	Green Ash	Fraxinus pennsylvanica	118.5"	D-Dead
320	Green Ash	Fraxinus pennsylvanica	119"	D-Dead
321	Green Ash	Fraxinus pennsylvanica	119.5"	D-Dead
322	Green Ash	Fraxinus pennsylvanica	120"	D-Dead
323	Green Ash	Fraxinus pennsylvanica	120.5"	D-Dead
324	Green Ash	Fraxinus pennsylvanica	121"	D-Dead
325	Green Ash	Fraxinus pennsylvanica	121.5"	D-Dead
326	Green Ash	Fraxinus pennsylvanica	122"	D-Dead
327	Green Ash	Fraxinus pennsylvanica	122.5"	D-Dead
328	Green Ash	Fraxinus pennsylvanica	123"	D-Dead
329	Green Ash	Fraxinus pennsylvanica	123.5"	D-Dead
330	Green Ash	Fraxinus pennsylvanica	124"	D-Dead
331	Green Ash	Fraxinus pennsylvanica	124.5"	D-Dead
332	Green Ash	Fraxinus pennsylvanica	125"	D-Dead
333	Green Ash	Fraxinus pennsylvanica	125.5"	D-Dead
334	Green Ash	Fraxinus pennsylvanica	126"	D-Dead
335	Green Ash	Fraxinus pennsylvanica	126.5"	D-Dead

Tag No.	Common Name	Scientific Name	DBH	Condition
158	Green Ash	Fraxinus pennsylvanica	16"	0-dead
159	Black Cherry	Prunus serotina	13"	0-dead
160	Green Ash	Fraxinus pennsylvanica	16"	0-dead
161	Black Cherry	Prunus serotina	14.5"	2-heavy deadwood
162	Green Ash	Fraxinus pennsylvanica	16.5"	0-dead
163	Hawthorn	Crataegus	13"	2-heavy deadwood
164	Green Ash	Fraxinus pennsylvanica	14.5"	0-dead
165	Green Ash	Fraxinus pennsylvanica	12.5"	0-dead
166	White Oak	Quercus alba	8.5"	3-minor deadwood
167	Pin Oak	Quercus palustris	15.5"	2-heavy deadwood
168	Green Ash	Fraxinus pennsylvanica	16.5"	0-dead
169	White Birch	Betula papyrifera	8"	3-minor deadwood
170	Red Oak	Quercus rubra	8"	3-minor deadwood
171	Shagbark Hickory	Carya ovata	11"	3-minor deadwood
172	Shagbark Hickory	Carya ovata	10.5"	3-minor deadwood
173	Quaking Aspen	Populus tremuloides	9"	0-dead
174	Quaking Aspen	Populus tremuloides	10"	0-dead
175	Quaking Aspen	Populus tremuloides	8"	0-dead
176	Quaking Aspen	Populus tremuloides	8"	0-dead
177	Quaking Aspen	Populus tremuloides	9.5"	0-dead
178	Bur Oak	Quercus macrocarpa	10.5"	2-heavy deadwood
179	Shagbark Hickory	Carya ovata	11.5"	3-minor deadwood
180	Red Oak	Quercus rubra	7"	4-minor deadwood
181	Shagbark Hickory	Carya ovata	7"	4-minor deadwood
182	Red Oak	Quercus rubra	9.5"	3-minor deadwood
183	Red Oak	Quercus rubra	10"	2-heavy deadwood
184	Red Oak	Quercus rubra	9.5"	3-minor deadwood
185	Black Cherry	Prunus serotina	17"	2-heavy deadwood
186	Pin Oak	Quercus palustris	15.5"	2-heavy deadwood
187	Shagbark Hickory	Carya ovata	8"	3-minor deadwood
189	Bur Oak	Quercus macrocarpa	8"	3-minor deadwood
190	Shagbark Hickory	Carya ovata	11"	3-minor deadwood
256	White Oak	Quercus alba	20.5"	2-heavy deadwood
298	Shagbark Hickory	Carya ovata	23"	2-heavy deadwood
260	Red Oak	Quercus rubra	23"	2-heavy deadwood
258	Red Oak	Quercus rubra	32"	2-heavy deadwood
261	Red Oak	Quercus rubra	32"	2-heavy deadwood
262	White Oak	Quercus alba	21.5"	2-heavy deadwood
263	Bur Oak	Quercus macrocarpa	23"	2-heavy deadwood
264	Bur Oak	Quercus macrocarpa	23"	2-heavy deadwood
265	White Oak	Quercus alba	19"	2-heavy deadwood
266	White Oak	Quercus alba	19.5"	2-heavy deadwood
267	Bur Oak	Quercus macrocarpa	25"	2-heavy deadwood
269	Bur Oak	Quercus macrocarpa	28.5"	1-large cavity in trunk
270	Bur Oak	Quercus macrocarpa	33"	0-dead
275	White Oak	Quercus alba	24"	2-heavy deadwood
276	Red Oak	Quercus rubra	23"	2-heavy deadwood
1112	Bur Oak	Quercus macrocarpa	13"	3-minor deadwood

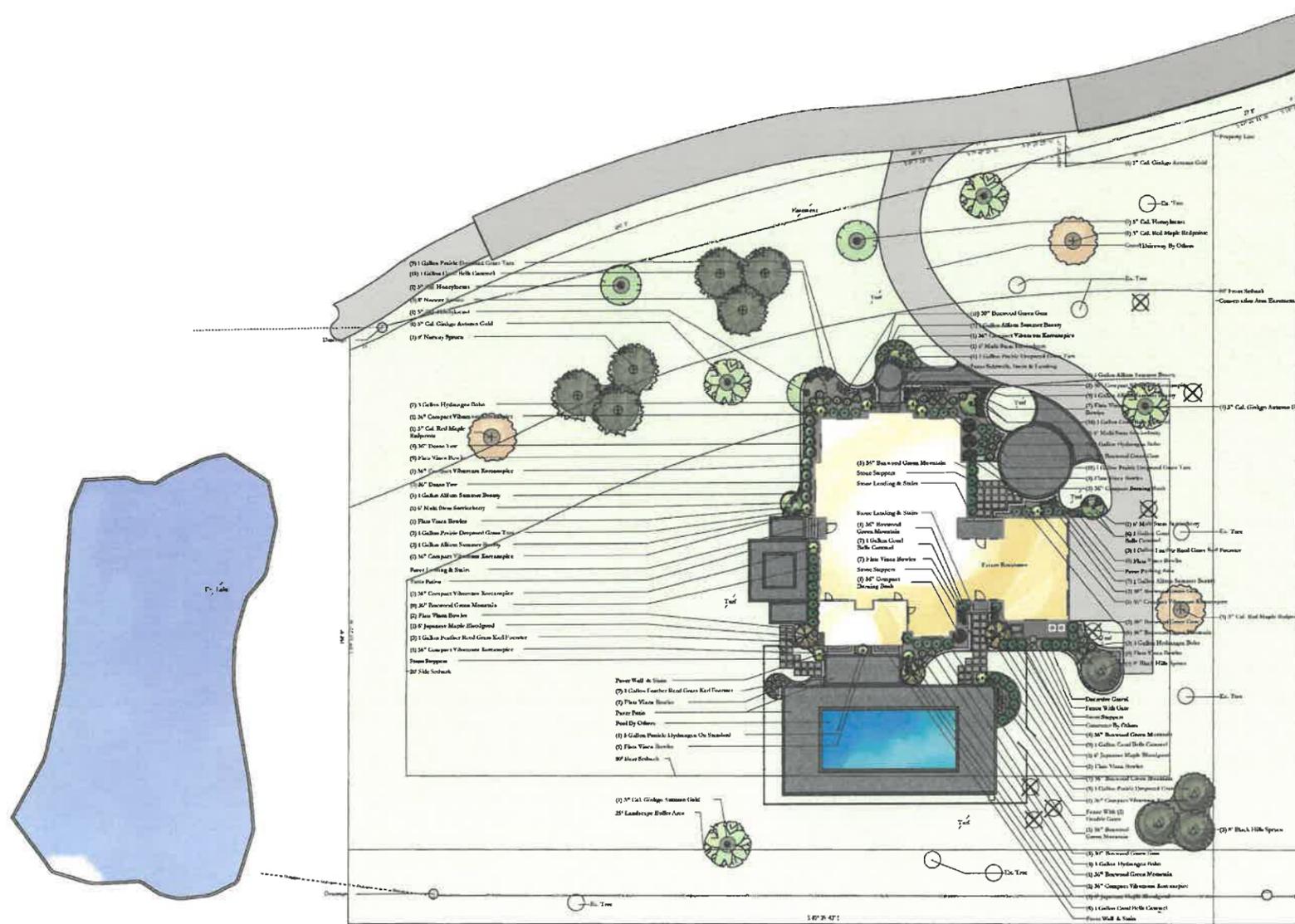


ALL RIGHTS RESERVED
 Reproduction Of Plan Per Use Of Concepts
 Prohibited Without Written Consent Of Buhrman
 Design Group & Melinda Quigley

20200 W. Winchester Rd. | Mundelein, IL 60060
 847-949-9245
 info@buhrmandesigngroup.com



NOTE:
 Plant Substitution May Be Used. Installation
 Sizes On Plants See Contractors Agreement.
 Plants Shown On Design At Maturity &
 Maintained Height. Plants Shown At Best
 Attribute.



Plant Legend				
Symbol	Qty	Common Name	Botanical Name	Container
Groundcovers\Ornamental Grass				
	38	Dwarf Prairie Dropseed Grass Tara	Sporobolus heterolepis Tara	1 Gallon
	15	Feather Reed Grass Karl Foerster	Calamagrostis acutiflora Karl Foerster	1 Gallon
Groundcovers\Perennials				
	49 Flats (24 Cell Count)	Vinca Bowles	Vinca minor Bowles	Flat
Herbaceous\Perennials				
	40	Allium Summer Beauty	Allium Summer Beauty	1 Gallon
	57	Coral Bells Caramel	Heuchera Caramel	1 Gallon
Shrubs\Deciduous				
	4	Compact Burning Bush	Euonymus alatus Compactus	36"
	21	Hydrangea Bobo	Hydrangea paniculata ILVOBO	3 Gallon
	11	Compact Koreanspice Viburnum	Viburnum carlesii Compacta	36"
Shrubs\Evergreen				
	33	Boxwood Green Mountain	Buxus microphylla x. B. sempervirens Green Mountain	36"
	7	Dense Yews	Taxus x media Densiformis	36"
	25	Littleleaf Boxwood Green Gem	Buxus microphylla x. B. sempervirens Green Gem	30"
Trees\Deciduous				
	3	Honey Locust	Gleditsia triacanthos inermis	3" Cal.
	1	Hydrangea On Standard Tree	Hydrangea paniculata On Standard Tree	5 Gallon
	3	Japanese Maple Blood Good	Acer palmatum var. atropurpureum Bloodgood	6'
	4	Maidenhair Autumn Gold	Ginkgo biloba Autumn Gold	3" Cal.
	4	Multi Stem Serviceberry	Amelanchier canadensis	6'
	3	Red Maple Redpointe	Acer rubrum Frank Jr.	3" Cal.
Trees\Evergreen				
	4	Black Hills Spruce	Picea glauca var. Densata	8'
	6	Norway Spruce	Picea abies	8'

Artisan Concept Design.
 Actual Design Measurements,
 Materials & Installation May
 Vary.

335 Robinson Dr. Lake Forest. IL 60045

Date: 7-3-2021

Scale: 1/20" = 1'.0

Designed By: Marion Gorski | Melinda Quigley

24 x 36 Landscape

Agenda Item 5
901 Spring Lane
Partial Demolition, Additions, Alterations
Building Scale Variance

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Photographs
Plat of Survey – Existing Conditions
Proposed Site Plan
Existing Elevations
Proposed East Elevation
Proposed East Color Elevation
East Elevation Overlay
Proposed South Elevation
South Elevation Overlay
Proposed West Elevation
West Elevation Overlay
Proposed North Elevation
North Elevation Overlay
Proposed Roof Plan
Proposed Floor Plans
Tree Removal Plan
Partial Preliminary Landscape Plan
Renderings

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grieve and Members of the Historic Preservation Commission
DATE:	July 12, 2021
FROM:	Jennifer Baehr, Planner
SUBJECT:	901 Spring Lane Partial Demolition, Additions, Alterations and Building Scale Variance

Property Owners

Natalie and Justin Hagstrom
901 Spring Lane
Lake Forest, IL 60045

Property Location

901 Spring Lane

Historic Districts

East Lake Forest Local &
National Historic District

Project Representative

Scott Streightiff, Architect
555 Oakwood Avenue
Lake Forest, IL 60045

Summary of the Request

This is a request for a Certificate of Appropriateness for a partial demolition of the residence, significant additions to the south and west sides of the home, and expansion of the second floor. A building scale variance is also requested. On the first floor, the additions will accommodate a new three car garage and a new family room. The expansion of the second floor will accommodate a master bedroom suite, additional bedrooms, and bathrooms. As an alternative to a full demolition, the petitioner brought forward this request to reuse some portions of the existing structure, while making significant improvements to allow the house to meet the needs of the new owners. Modifications to the architectural style, materials, and roof forms are proposed as well as changes to the site configuration of the driveway and the addition of a new motor court at the front of the house.

The petitioner's statement of intent indicates that some repair work to the historic accessory structure located at the rear of the property and rehabilitation of the existing pool are also planned. Based on information provided by the petitioner, the repair and restoration work are not part of the immediate project. will occur at a later date. Plans that detail the extent of the repair work and rehabilitation of the pool have not yet been submitted, when they are, depending on the scope of work, Commission review may be required.

The existing house is nonconforming with respect to the lot-in-depth setback requirements. The Zoning Board of Appeals recently considered and unanimously recommended approval of zoning variances to allow construction of the three car garage partially within the setback subject to review and approval by the Historic Preservation Commission.

Description of the Property and Surrounding Area

This property is located at the west end of Spring Lane. It is accessed by a shared drive off of Mayflower Road that serves this property and another property to the east. The property is approximately 2 acres in size and includes a portion of a ravine along the west property line. The

existing residence was constructed in 1954 and was designed by architect Jerome Cerny. During the 1990's, the home was extensively remodeled, and the appearance of the home changed significantly. Today, almost nothing remains from Cerny's original design. The changes made in the 1990s significantly compromised the integrity of the original Cerny design and as a result, the property is not designated as a Contributing Structure to the Historic District. The current version of the house is less than 50 years old. The petitioner engaged a preservation consultant to prepare a Historic Resource Evaluation. The report reviews the history of the property and details the changes made to the home over the years. The report is included in the Commission's packet.

There is an existing accessory structure on the north side of the property. The accessory structure was designed by architect David Adler. It is unclear when the accessory structure was built, although the Historic Resource Evaluation provided by the petitioner indicates that the structure was likely built in the late 1920s.

Staff Review

The statement of intent and supporting materials submitted by the petitioner are included in the Commissioners' packets and provide detailed information. A summary of the project based on the information provided by the petitioner is presented below.

Proposed Demolition

Calculations provided by the petitioner note that approximately 35 percent of the residence will be demolished as part of the proposed project. The City Code defines a full demolition as more than 50 percent of the total structure; therefore, the petition is considered a **partial demolition**.

Demolition Criteria 1 -- Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the city and the state.

This criteria is satisfied. As noted above, the remodeling of the home completed in the 1990s severely compromised the architectural integrity of the house. The exterior of the home mostly reflects the work completed in the 1990s and does not present any notable features or detailing.

Demolition Criteria 2 -- Whether the property, structure or object contributes to the distinctive historic, cultural, architectural or archeological character of the District as a whole and should be preserved for the benefit of the people of the city and the state.

This criteria is satisfied. The residence does not contribute in a distinctive way to the character of the Historic District. The home is not prominent on the streetscape given its location on a lot in depth, away from the street and behind adjacent properties.

Demolition Criteria 3 -- Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable District.

This criteria is satisfied. The demolition of the residence is not be contrary to the purpose and intent of the Preservation Chapter of the Lake Forest Code. The residence does not display any historical or architectural significance making it worthy of preservation.

Demolition Criteria 4 -- Whether the property, structure or object is of such old, unusual or

uncommon design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

This criteria is satisfied. The residence is not of such old, unusual, or uncommon design, texture, or material that it could not be reproduced without great difficulty or expense. The residence could be replicated. The residence was originally constructed in 1954 but significantly altered in the 1990s.

Demolition Criteria 5 -- Except in cases where the owner has no plans for a period of up to five years to replace an existing Landmark or property, structure or object in a District, no Certificate of Appropriateness shall be issued until plans for a replacement structure or object have been reviewed and approved by the Commission.

This criteria is pending review by the Commission. Additions and alterations are proposed to the existing residence and are subject to review and approval by the Commission.

Proposed Additions and Alterations

The petitioner is proposing to reconfigure all of the existing interior spaces. The existing front facing garage is located on the north side of the house and is visible when entering the site. With the interior renovation of the home, the existing three car garage will be converted into a sports court and a new three car garage addition is proposed on the south side of the house. Based on the petitioner's statement of intent, the siting of the garage addition is intended to create a more formal approach to the home and a less prominent service area with the garage.

The petitioner is also proposing an addition on the west (rear) side of the residence that will house a new family room facing the rear yard. A pergola structure is proposed on the south side of the new family room addition. The existing screen porch on the rear of the home is proposed to be enclosed and converted into a guest bedroom.

The existing residence will be converted one-and-a-half stories to two-and-a-half stories . The existing second floor will be completely reconfigured and expanded to house a new master bedroom suite, three bedrooms, and bathrooms.

The exterior alterations include new windows and doors, new exterior materials, modifications to the roof massing, a new exterior color palette, a new entry element and covered porches on the front elevation, and various design elements including single gable dormers and shutters on the windows.

Site Plan

The building footprint will increase by approximately 1,745 square feet as a result of the proposed additions. The existing curb cut will be maintained and the driveway on the property will be reconfigured. A new motor court is proposed at the front of the house, centered on the new front entry.

The site plan provided by the architect shows a different driveway configuration than what is reflected on the landscape plan.

- Clarification is requested on the proposed configuration of the driveway and motor court.

Pillars are reflected on the conceptual landscape plan, on the north and south sides of the motor court. A terrace is proposed on the rear of the home. An outdoor fireplace is proposed on the north side of the addition, on the rear of the home.

- Clarification is requested regarding the proposed materials and height for the pillars.

The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site will increase from 16,201 square feet, equal to 18 percent of the lot area, to 21,839 square feet, equal to 24 percent of the lot area. The building footprint increases from 5,535 square feet to 7,468 square feet, including the square footage of the historic accessory structure. The paved surfaces, including the driveway, motor court, pool, and terrace increases from 10,666 square feet to 14,371 square feet.

Findings

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

This standard is met. The overall height of the residence will increase from 25 feet to 35 feet at the highest point, as a result of the reconstructed roof and will be below the maximum height of 40 feet permitted for a lot of this size. The height of the proposed residence is compatible with the surrounding homes, most of which are two and two-and-a-half stories tall.

As noted above, information is needed on the height of the pillars.

Standard 2 - Proportion of front façade.

This standard is met. The proposed alterations to the front elevation improve the overall balance of the front façade and present a clear hierarchy of masses.

Standard 3 – Proportion of openings.

This standard is met. The elevations present a variety of opening shapes and sizes. Although the openings vary in size and shape, they generally present vertical proportions.

Standard 4 – Rhythm of solids to voids.

This standard is met. The elevations generally present openings that are evenly spaced and aligned between the first and second floors. New skylights are proposed in the master bathroom as reflected on the south elevation and the roof plan. Skylights in some cases are a source of irritation for neighbors due to light spillover and can be inconsistent with the dark sky character of the Historic District. As proposed, the skylights are located on one of the south facing, taller main roof forms, and could be a source of light spillover and could impact the neighboring home.

Standard 5 – Rhythm of spacing and structures on streets.

This standard is met. The proposed additions extend to the west and south of the residence. Given that the location of the property is minimally visible from the street, the proposed additions do not visually impact the appearance of spacing of structures along the streetscape.

Standard 6 – Rhythm of entrance porches.

This standard is met. The front entrance to the home projects slightly from the main mass of the residence. A stone surround is proposed at the front door. A covered porch is proposed on the

front elevation at a secondary entrance to the home. The porch provides an element that reflects a human scale and breaks up the façade with an open structure.

Standard 7 – Relationship of materials and textures.

This standard is met. The proposed additions and modifications will be constructed of natural materials consistent with the quality of materials found in the surrounding neighborhood. The exterior walls are lime wash brick with some stone accents. The roof is wood shingle. Aluminum clad wood windows with interior and exterior muntin bars are proposed. Limestone is proposed for door and window trim. Wood rakeboards, fascia and soffits are proposed. The gutters and downspouts are copper. The chimneys are lime wash brick. The cupola is copper.

The driveway is a combination of asphalt and crushed stone. Bluestone is proposed for the walkways and rear terrace.

Standard 8 – Roof shapes.

This standard is met. A series of gable and hip roof forms are proposed around the residence with a clear hierarchy of roof forms. A cupola is proposed on the single story mass on the north end of the home.

Standard 9 – Walls of continuity.

This standard is met. The massing, scale, and detailing are consistent on all elevations of the house.

Standard 10 – Scale.

A building scale variance is requested.

- The allowable square footage based on the size of the property is 7,862 square feet. The allowable square footage is based on the total lot area. In this case, the total lot area contains table and non-table land. Non-table land is defined in the Code as, land where the slope in any direction exceeds 10 percent. Only 50% of the non-table land is counted in the calculation of the land area.
- The existing residence is below the allowable square footage for the property by 2,826 square feet. The total square footage of the existing residence that will remain after the partial demolition including the square footage of the existing historic accessory structure is 4,194 square feet.
- A total of 800 square feet is allowed for a garage on this property. The proposed garage totals 1,032 square feet. The garage overage of 232 square feet must be added to the total square footage of the residence.
- A total of 786 square feet of design elements is permitted for this property. The proposed covered porch, covered entries and the pergola add a total of 452 square feet of design elements.
- The proposed first floor additions total 1,835 square feet. This includes the square footage of the existing garage that will be converted into a sports court and the square footage of the existing screen porch that will be converted into a guest bedroom.

- The expansion of the second floor and increased roof mass will add 4,126 square feet to the second floor space and add 575 square feet to the attic space.
- In summary, the existing house with the proposed additions and increased roof mass will total 10,962 square feet. The total square footage exceeds the allowable by 3,100 square feet. A building scale variance of 39 percent is requested.

Review of Building Scale Variance Standards

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 -- The project is consistent with the design standards of the City Code.

This standard is met. The Code and City's Design Guidelines encourage the use of design elements to bring human scale to projects and to avoid the appearance of oversized, out of scale elements. In this case, the additions and increased roof massing are designed in a manner that create a hierarchy of forms and balance on the elevations of the home. The design incorporates elements such as dormers, covered porches, and a pergola that break up the mass and bring a human scale to the appearance of the home.

Standard 2 -- Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard can be met. Currently, the house has minimal visibility from the street and from adjacent properties. The existing vegetation on the property appears to effectively mitigate the appearance of the proposed additions and increased roof mass, although some vegetation is proposed for removal on the east and south sides of the house. The petitioner submitted a conceptual landscape plan that reflects new plantings around the motor court and rear terrace. Based on the conceptual landscape plan, new plantings are not currently proposed along the south side of the house. Given that the garage addition is proposed on the south side of the home, additional plantings will need to be incorporated as part of the final landscape plan to mitigate the appearance of the increased building footprint and height from the neighboring property.

Standard 3 -- New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard is met. As noted above the house has minimal visibility from the streetscape. Given the expansiveness of the site, the proposed additions and increased roof mass do not appear to present an overbuilt appearance on the property. At its closest points, the house is 24 feet from the north property line and is 31 feet from the south property line. Based on the distance of the home from the property lines it does not appear that light to or views from neighboring homes are not negatively impacted.

Standard 4 -- The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots,

buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is met. The proposed height and mass of the residence is compatible with the height and mass of structures on adjacent lots. As noted above, the surrounding neighborhood is comprised of many two and two-and-a-half story residences, the residence as proposed at its tallest point is 35 feet and is two-and-a-half stories tall. The building footprint of the residence as proposed is also comparable to the footprints of surrounding homes.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.

This standard is not met. The property is located in a local historic district however the purpose of the proposed additions and alterations is not to preserve an historically significant property.

Standard 6 -- The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

The standard is partially met. This property is located adjacent to a ravine, a natural feature that serves to mitigate the appearance of mass when the home is viewed from across the ravine. The ravine will remain as a natural feature and cannot be filled or developed.

In summary, the criteria for a building scale variance are satisfied as detailed in the findings presented above. The first standard and three additional standards are satisfied. A fourth standard is partially met.

Standard 11 – Directional Expression of Front Elevation.

This standard met. The directional expression of the front façade is oriented east, toward the street, although the home is not visible from the streetscape.

Standard 12 – Preservation of historic material.

This standard is met. The existing residence was constructed in 1954 and little of the original materials remain today. Although the residence is more than 50 years old and is located in the historic district, the residence is not architecturally or historically significant and the integrity of the original design has been significantly compromised.

Standard 13 – Preservation of natural resources.

This standard can be met. The project will require the removal of four trees to accommodate the proposed additions and motor court. All four trees proposed for removal, including two Maples, a Katsura and Hawthorn tree are in good condition based on the tree survey provided by the petitioner and will require replacement inches to be planted on site. Based on the condition, size and species of the trees proposed for removal a total of 39 replacement inches is required.

The conceptual landscape plan that was provided by the petitioner reflects new planting around the motor court and in the rear of the house. A boxwood and hornbeam hedge are proposed around the front motor court. Shade trees are proposed on the east corners of the motor court and ornamental trees are proposed on either side of the front door. The rear terrace is bordered by a boxwood

hedge and a perennial bed. Based on the current landscape plan the total amount of replacement inches are not yet satisfied. As the landscape plan is further developed, the plan shall provide for the required replacement inches on site and substantial plantings that offer screening of the increased mass and height shall be incorporated particularly along the south property line.

Standard 14 – Compatibility.

This standard is met. The scale, high quality materials, hierarchy of massing and architectural detailing are consistent with the character of the surrounding neighborhood.

Standard 15 – Repair to deteriorated features.

This standard can be met. As noted above, the petitioner’s statement of intent indicates some repair work on the historic accessory structure is planned along with future rehabilitation of the pool. Plans for this work have not yet been submitted. Given that the accessory structure is historic and was designed by a notable architect, as noted above, depending on the scope of restoration and repair work proposed, this future project may require Commission once plans are developed.

Standard 16 – Surface cleaning.

This standard is not applicable to this request. No surface cleaning is proposed.

Standard 17 – Integrity of historic property.

This standard is met. The existing residence is not identified as a Contributing structure to the District and is not architecturally or historically significant. The additions and alterations are designed in a manner that are compatible with the quality and character of the surrounding neighborhood.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at four public locations and on the City’s website. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Grant a Certificate of Appropriateness approving the partial demolition of the existing single family residence, construction of additions, exterior alterations, and a building scale variance based on the findings presented in this staff report and incorporating the Commission’s deliberations as additional findings. Staff recommends approval subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. If any modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, *along with* the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
2. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City’s Certified Arborist. The plan shall provide for the required 39 replacement inches on site. If during construction, additional trees on the site are compromised in the opinion of the City’s Certified Arborist, additional replacement inches or payment in lieu of on site planting may be required. The plan shall also incorporate plantings that

provide screening of the increased mass and height of the home from neighboring homes particularly along the south property line.

3. A detailed grading and drainage plan is required prior to the issuance of a building permit and will be subject to review and approval by the City Engineer. Attention should be paid to avoiding drainage impacts on neighboring properties as a result of the construction proposed, both in the short term, during construction, and over the long term.
4. Prior to the issuance of a building permit, a plan to protect trees, vegetation and the ravine during construction must be submitted and will be subject to review and approval by the City's Certified Arborist and the City Engineer.
5. Details of exterior lighting shall be reflected on the plans submitted for permit. Cut sheets of all light fixtures should be provided and all fixtures shall direct light downward and the source of the light shall be shielded from view from off the property. The dark streetscape character shall be preserved.
6. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the street, the neighborhood, neighboring properties and existing trees and landscaping during construction.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 901 Spring Lane Owner(s) Natalie and Justin Hagstrom
 Architect Scott Streightiff, architect Reviewed by: Jen Baehr
 Date 7/12/2021
 Lot Area 75780 sq. ft.

Square Footage of Existing Residence:

1st floor 3292 + 2nd floor 805 + 3rd floor 0 = 4097 sq. ft.
 (to be removed)

Design Element Allowance = 786 sq. ft.

Total Existing Design Elements = 284 sq. ft. (screen porch to be converted to guest room) Excess = 0 sq. ft.

Garage 838 sf actual ; 800 sf allowance (garage to be converted to sports court) = 38 sq. ft.

Garage Width 25'-3" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 902 sq. ft.

Total Square Footage of Existing Residence To Remain: = 4194 sq. ft.
 (existing to remain)

Square Footage of Proposed Additions:

1st floor 1835 + 2nd floor 4126 + 3rd floor 575 = 6536 sq. ft.

New Garage Area 1032 sq. ft. Excess = 232 sq. ft.

New Design Elements 452 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 10962 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 7862 sq. ft.

DIFFERENTIAL = 3100 sq. ft. **NET RESULT:**
Over Maximum (Existing) 3100 sq. ft. is

Allowable Height: 40 ft. Actual Height 32'-0" (existing) 35'-0" (proposed) **39% over the Max. allowed**

DESIGN ELEMENT EXEMPTIONS (Existing & Proposed)

Design Element Allowance: 786 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 132 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 320 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 452 sq. ft.

Excess Design Elements = 0 sq. ft.

Area of Request
901 Spring Lane



Area of Request
901 Spring Lane





**THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 901 SPRING LANE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input checked="" type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input checked="" type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- East Lake Forest District
 Green Bay Road District
 Vine/Oakwood/Green Bay Road District
 Local Landmark Property or District
 Other

PROPERTY OWNER INFORMATION

NATALIE & JUSTIN HAGSTROM
Owner of Property

901 SPRING LANE
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045
City, State and Zip Code

Phone Number _____ Fax Number _____

jhagstrom@gmail.com
natalie.hagstrom@gmail.com
Email Address


Owner's Signature

ARCHITECT/BUILDER INFORMATION

SCOTT A. STREIGHTIFF, AIA
Name and Title of Person Presenting Project

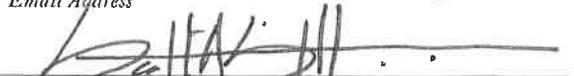
STREIGHTIFF ARCHITECTS
Name of Firm

555 OAKWOOD AVE.
Street Address

LAKE FOREST, IL 60045
City, State and Zip Code

847-525-4000
Phone Number Fax Number

SCOTT STREIGHTIFF @ COMCAST.NET
Email Address


Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.	
Please email a copy of the staff report	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



STREIGHTIFF ARCHITECTS LLC
555 Oakwood Avenue
Lake Forest, IL 60045

STATEMENT OF INTENT

Date: 24 May 2021

Project: The Hagstrom Residence
901 Spring Lane
Lake Forest, IL 60045

Petition requests:

- Approval for New Additions & Renovations to Primary Structure. Adaptive re-use of existing Garage.
- Preservation of Historic Coach House & Pool.

Statement:

The primary intent of this petition is to request approval for approximately **3,051** square feet of New Additions and Renovations to the primary structure. As well as Preservation and Rehabilitation of the existing coach house and pool located at **901 Spring Lane**. These improvements shall include:

- Proposed modifications in form and function (hierarchy of elements) to the primary residence.
- Adaptive re-use of the existing 3-car garage.
- Restore and preserve the existing historic coach house.
- Restore and preserve the existing historic pool.
- Enhanced landscape, entry court & screening plan.

The proposed modifications will require Zoning Variances as outlined for the approximately **90,604** square foot lot.

- A variance to the existing front yard setback line a to allow parking beyond the setback.
- A variance to the lot-in-depth side yard setback lines
- An approximate **3,051 sf** proposed variance to the current building scale ordinance.
- **Note 1:** The subject property is lot-in-depth
- **Note 2:** The existing residence abuts a ravine (non-table land)
- **Note 3:** The property has unique/significant features

Background/Historical data/Objective:

This section of Spring Lane (and Mayflower) is characterized by a fairly wooded streetscape with distinctive manor homes on large lots.

The subject property is a lot-in-depth property with its access drive on the west side of Mayflower at the west end of Spring Lane. The property abuts a wooded ravine in the back,

directly east of Lake Forest College. The subject property was originally part of a larger parcel belonging to the *Merrie Meade* estate built in 1875, which was later demolished in 1939.

The existing primary structure, originally designed by architect Jerome Cerny, was part of a subdivision, built in the 1960's. Upon review, this would not be considered one of Cerny's finer commissions when compared to other more significant projects locally. The home has been altered significantly. This home underwent significant modifications/ renovations in the late 1990s in somewhat of a post-modern style popular at the time. The current home is in need of significant functional and aesthetic modifications.

That said, this property unfolds and more significant historic features are discovered. There is an historic Coach House on the property designed by noted architect, David Adler. Built in the 1920s, commissioned as an auxiliary studio to the original *Merrie Meade* house. This coach house is a treasure. The Owners wish to preserve this structure as it exists today in predominantly unaltered form, while addressing some modest deferred maintenance as part of a larger plan.

Additionally, there is an historic pool and 'secret' grotto on this property (with interesting folklore) that will be rehabilitated and preserved as part of a larger plan.

The owners are very sensitive to the property and the historic context of this distinctive neighborhood. The owners would like to modify the main home to meet their programmatic family needs, classically designed, while preserving the significant historic elements of this property.

The property owners wish to expand the home, and more importantly wish to create a proper hierarchy of elements and sense of arrival. As it exists today, one is confronted with (3) home depot grade garage doors upon first arrival to the site. A visitor rarely travels beyond this point and enters through the service entry. Our wish is to alter this condition and arrive first at a more formal entry court on axis with the front door...and then proceed to the parking court beyond the forecourt. As a result, the parking court will be more discreet at the south end and contain an added 3.5 car garage.

The Owners wish to adaptively re-use the existing 3-car garage and convert it into a much needed exercise/sport room.

In so doing, the common areas of the home will be moved to the more desirable south end and bedrooms will move upstairs. The result will be a gracious five (5) bedroom home consistent with other like properties in this district.

It is important to note that most of the excess square footage requested for this variance is contained in (3) areas; 1.) The historic out building 2.) The existing garage adaptively re-used, 3.) excess attic space. The attic space is a result of appropriately scaled roof pitches consistent with the style of this era.

The homeowners have addressed the following *Relevant Criteria* set forth by the City of Lake Forest.

Review of Standards -- Chapter 51, Historic Preservation

Standard 1 – Height.

- The height of the proposed is a 1.5 story eave line with the ridge of the central mass at 34.5'. A maximum height of 40' is permitted on this lot. The secondary masses are stepped down, have a single story eave line and approach 29' at the ridge. The wings are single story. The proposed height is appropriate and will be visually compatible and will not be disruptive to nearby properties, residences or the streetscape.

Standard 2 - Proportion of front façade.

- The central mass of the house is dominant with secondary masses stepping down on either side of the main mass. The proportions of the front façade are simple and consistent.

Standard 3 – Proportion of openings.

- The windows and doors are generally consistent and aligned on all elevations. The proportions of the openings are consistent with the chosen architectural style. The west elevation has more expansive windows to take advantage of the ravine, pool and yard views.

Standard 4 – Rhythm of solids to voids.

- There is a consistent rhythm of solids to voids around the house.

Standard 5 – Rhythm of spacing and structures on streets.

- The existing house and coach house cannot be seen from the street

Standard 6 – Rhythm of entrance porches.

- The front entry is symmetrical in design.

Standard 7 – Relationship of materials and textures.

- This standard is met.

Standard 8 – Roof shapes.

- There is a dominant roof form and secondary forms. The shapes are simple and consistent with the overall character of the proposed residence.

Standard 9 – Walls of continuity.

- The massing, scale, detailing and, materials are generally consistent around the house.

Standard 10 – Scale.

- The subject property is surrounded by significantly larger homes.
- We have endeavored to design the modifications so that the appearance of bulk is mitigated.

- The majority of the excess space requested is contained within the historic out building, the existing garage adaptively re-used, and attic spaces. The attic space is a result of appropriately scaled roof pitches consistent with the context and era.

Standard 15 – Repair to deteriorated features.

- This standard shall be addressed.

Standard 16 – Surface cleaning.

- This standard shall be addressed.

Standard 17 – Integrity of historic property.

- This standard is met.

Proposed Design

The proposed modifications will not adversely impact the neighborhood character. The proposed modifications are classically designed in an understated, historic character and use high quality traditional materials that will withstand the test of time. The proposed modifications are designed in a style consistent with its context. ...influenced by French Manor style architecture. The proposed exterior is simple, understated and composed of natural materials such as limestone and brick veneer. The entryways are enhanced with heavy timber, authentically proportioned with mortise and tenon joinery. The windows are clad with simulated true divided lites. The shutters shall appear when appropriate in a pleasing and airy cool gray/blue. The roof is cedar shingle with copper gutters and downspouts. The wood trim in a neutral color shall appear complimentary to the natural palette of materials.

Alternative Studies:

We have explored several alternatives to the design of this project including (3) alternatives for the garage and drive approach (attached in your packets). We feel that the petition before you has been carefully examined, and will have less impact to the historic district than a fully conforming alternative. And will preserve significant historical features on the property.

The owners have reviewed the petition with the surrounding neighbors and have their support on the proposed improvements. For these reasons, we would like to request that the petition be approved.

Thank you for your thoughtful consideration.

Respectfully submitted,



Scott A. Streightiff, AIA

901 Spring Lane - Standards for Building Scale Variance

Standard 1 The project is consistent with the design standards in section 9-86 of the City of LF code.

This standard is met.

Standard 2 Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard is met. The subject property is lot-in-depth and cannot be seen from the street. There is also a large buffer of both deciduous and non-deciduous mature screening at the perimeter of the property. The subject property abuts a large ravine at the rear (west) end of the property. Beyond the ravine is LFC.

Standard 3 New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition the proposed structures or additions will not have a significant negative impact on the light to and views from the homes.

- *This standard is met. We have endeavored to design the modifications so that the appearance of bulk is mitigated. The central main mass has a 1.5 story eave line and the subordinate wings that encroach have a single story eave line and lower ridge line.*

Standard 4 The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is met.

Standard 5 The property is located in the historic district or is designated as a Local Landmark and the addition is consistent with the standards in the Historic Preservation Ordinance and approval of a variance would further the purpose of the Ordinance.

This standard is met. The property is within the local historic district and significant historic features will be preserved contributing to the local historic district.

Standard 6 The project is adjacent to land use and zoned as permanent open space, a conservation easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

This standard is not applicable.



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- Stone
- Brick
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other _____

Color and/or Type of Material WHITE / NEUTRAL

Foundation Material

Exposed Foundation Material _____

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other FRENCH DOORS

Finish and Color of Windows

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other _____

Color of Finish SLATE GREEN / GRAY

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Other _____

Window Trim

- Limestone
- Brick
- Wood
- Other _____

Fascias, Soffits, Rakeboards

- Wood
- Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material - TBD

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles SLATE
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Other _____
- Sheet Metal

Color of Material _____

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

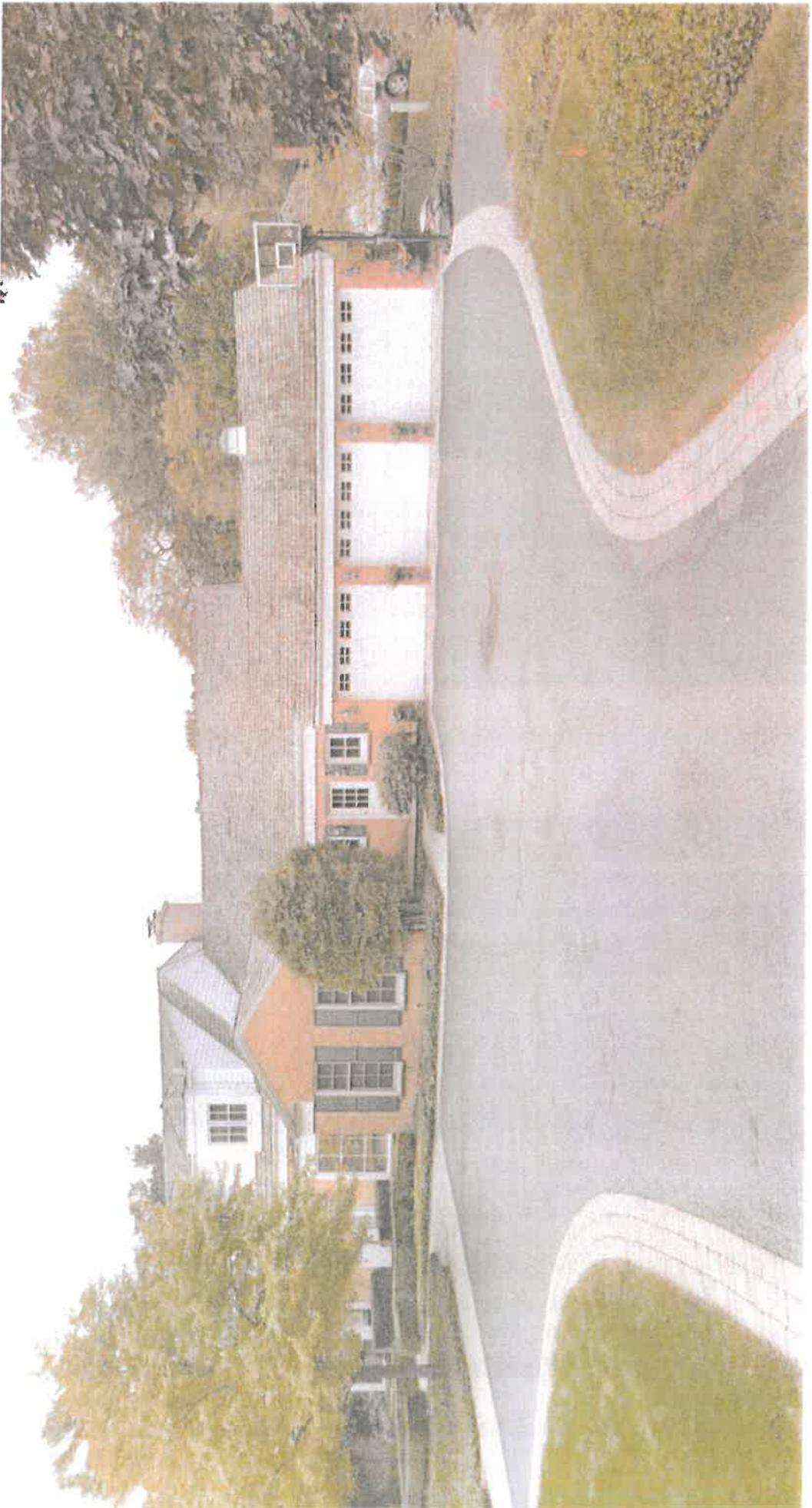
- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

PHOTO'S
EXISTING PROPERTY





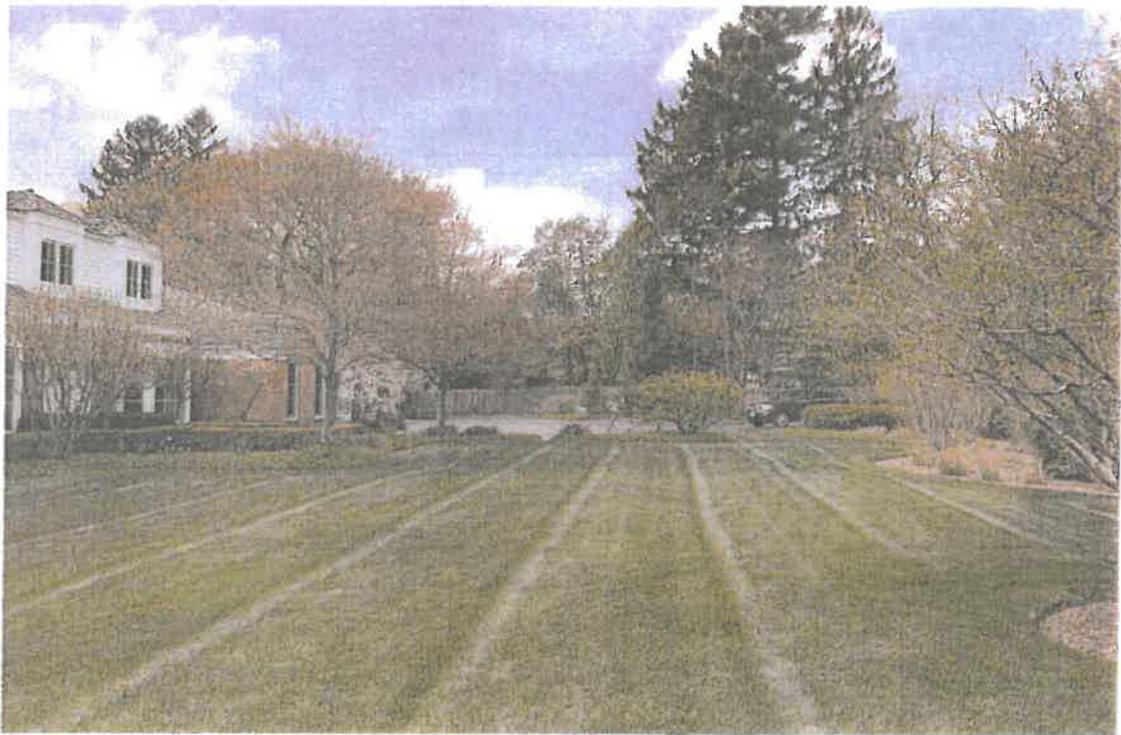
ARRIVAL







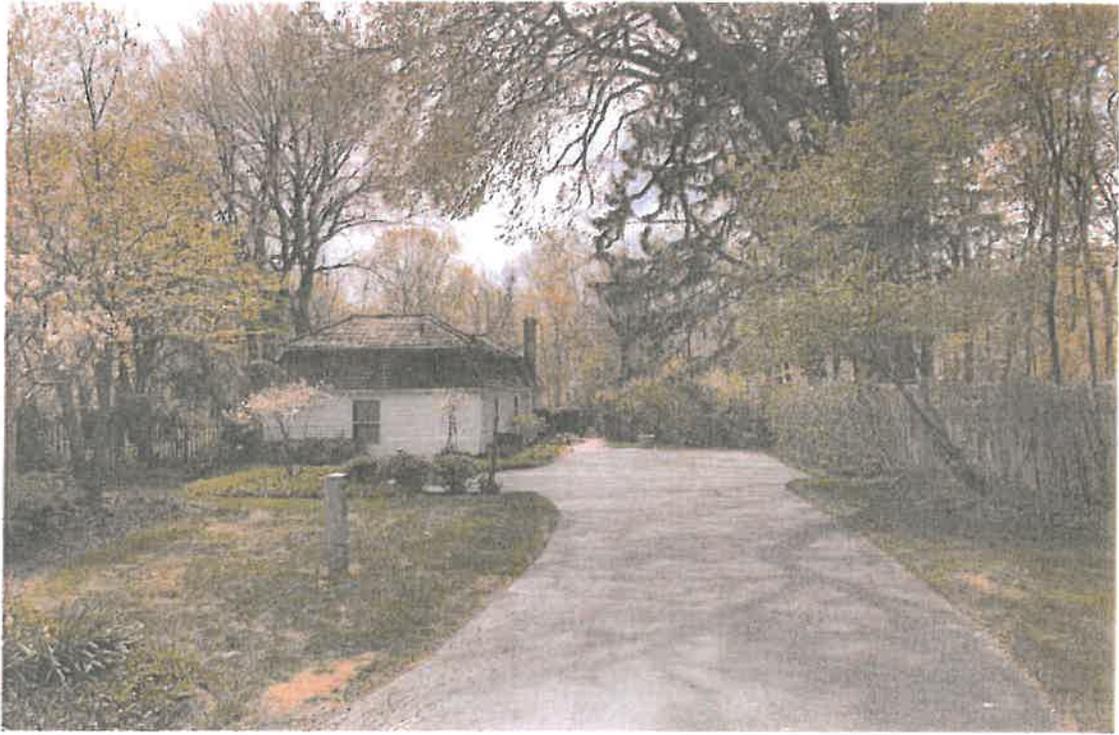






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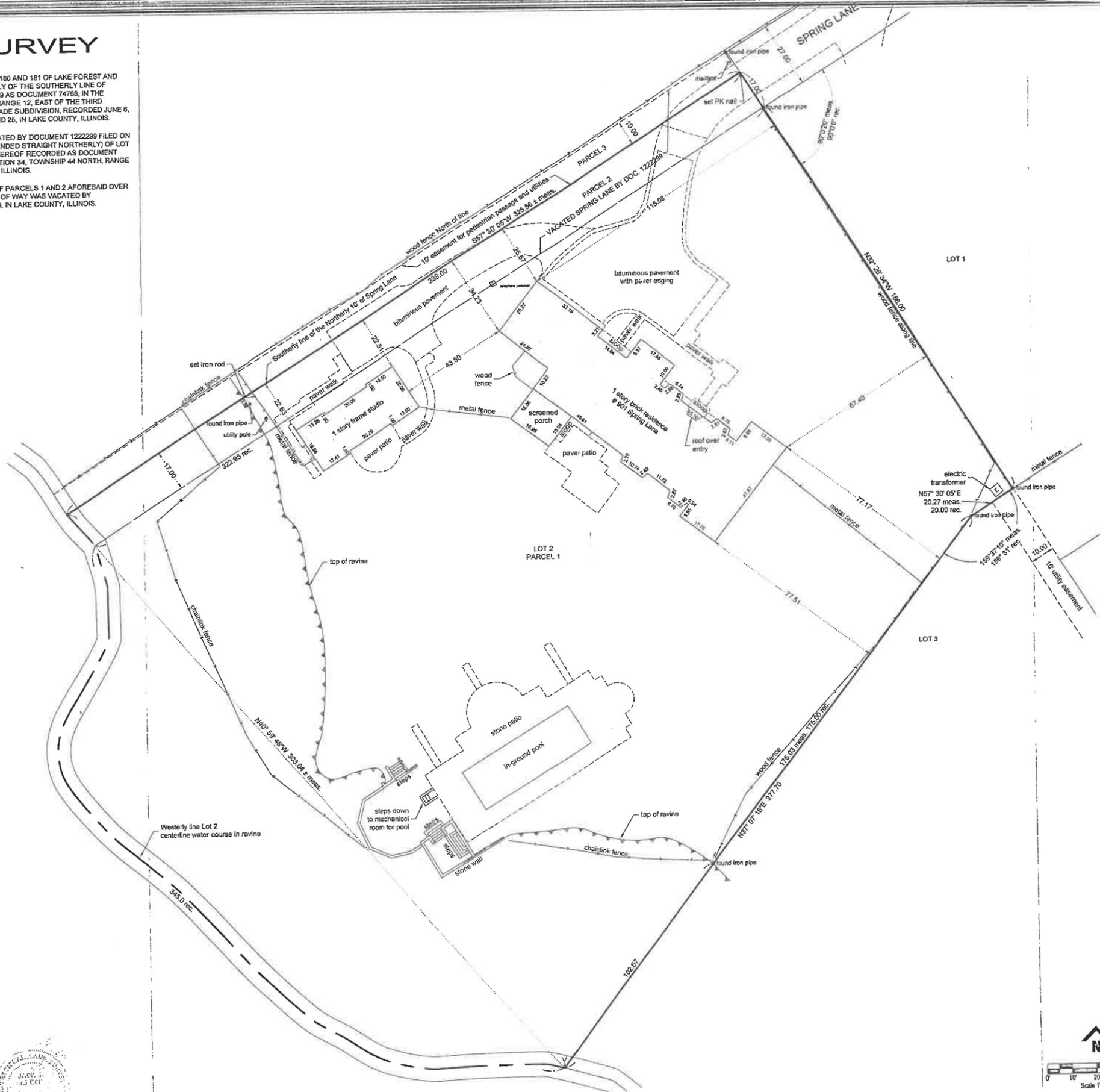
PLAT OF SURVEY

PARCEL 1:
 LOT 2 IN MERRIE MEADE SUBDIVISION, A SUBDIVISION OF LOTS 180 AND 181 OF LAKE FOREST AND THAT PART OF LOT 182 OF SAID LAKE FOREST LYING SOUTHERLY OF THE SOUTHERLY LINE OF SPRING LANE AS RELOCATED BY PLAT RECORDED JUNE 22, 1899 AS DOCUMENT 74768, IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF MERRIE MEADE SUBDIVISION, RECORDED JUNE 6, 1950 AS DOCUMENT 696608, IN BOOK 32 OF PLATS, PAGES 24 AND 25, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:
 THE SOUTHERLY 17 FEET OF THAT PART OF SPRING LANE VACATED BY DOCUMENT 1222289 FILED ON APRIL 15, 1964, LYING WESTERLY OF THE EASTERLY LINE (EXTENDED STRAIGHT NORTHERLY) OF LOT 2 IN MERRIE MEADE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 696608 ON JUNE 6, 1950, IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.

PARCEL 3:
 AN EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCELS 1 AND 2 AFORESAID OVER THE NORTHERLY 10 FEET OF SPRING LANE, WHICH SAID RIGHT OF WAY WAS VACATED BY INSTRUMENT RECORDED APRIL 15, 1964 AS DOCUMENT 1222289, IN LAKE COUNTY, ILLINOIS.

AREA PARCELS 1 AND 2 = 2.08 ± ACRES



PLAT IS VOID IF IMPRESSED
 SEAL DOES NOT APPEAR
 STATE OF ILLINOIS }
 COUNTY OF LAKE } S.S.

NOTE: ONLY THOSE BUILDING LINES OR EASEMENTS SHOWN ON THE RECORDED SUBDIVISION PLAT ARE SHOWN HEREON. CHECK LOCAL ORDINANCES BEFORE BUILDING. COMPARE YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

ON BEHALF OF BLECK ENGINEERING COMPANY, INC., I, JACK R. BLECK, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED IN THE ABOVE CAPTION WAS SURVEYED AND STAKED BY ME, OR UNDER MY DIRECTION, AND THE PLAT DRAWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY. MEASUREMENTS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED AT LAKE FOREST, ILLINOIS, THIS 4TH DAY OF JANUARY A.D., 2021.

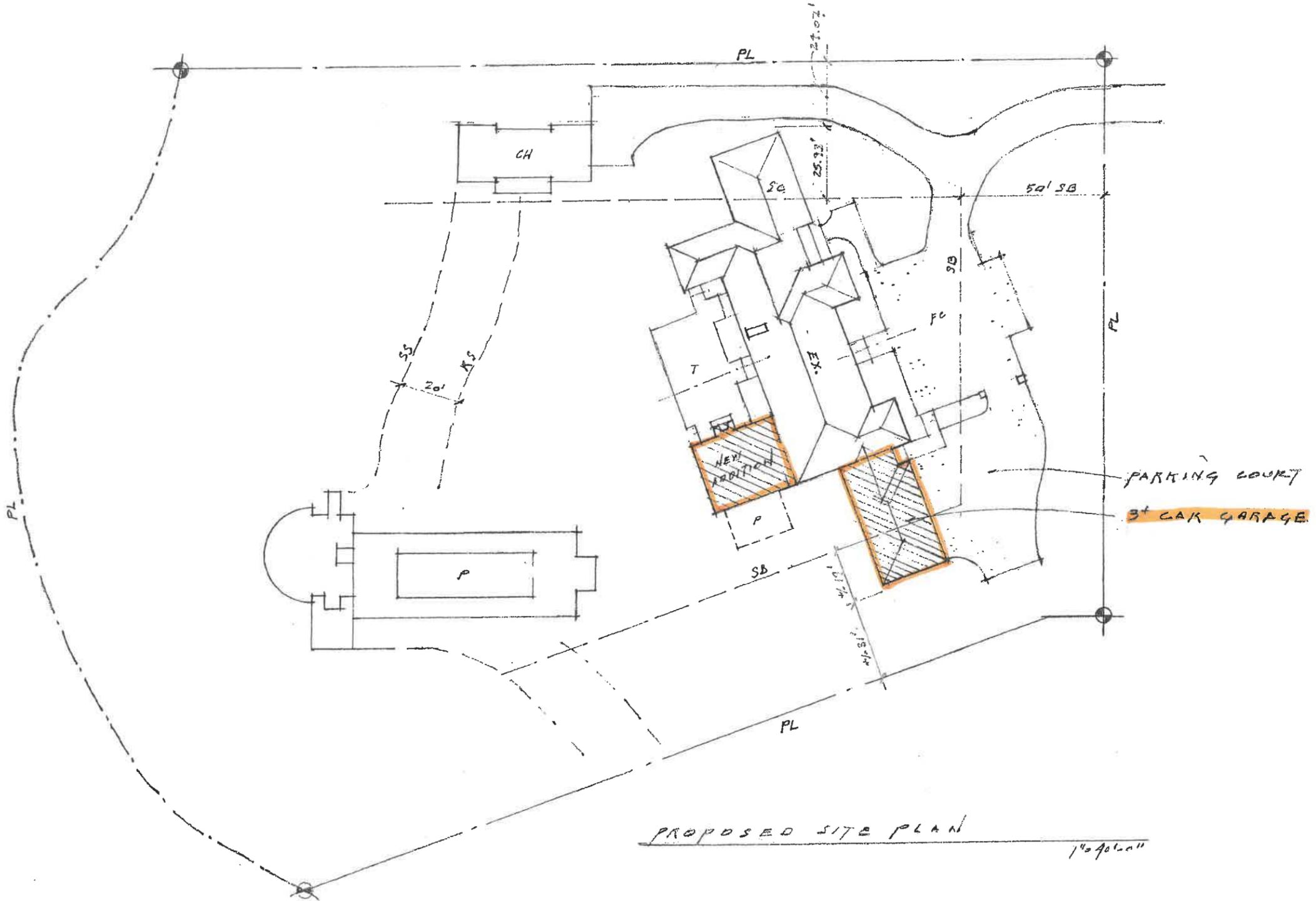
BY *[Signature]*
 REGISTERED ILLINOIS LAND SURVEYOR NO. 3591



ABBREVIATIONS:
 m. or meas. = measured
 r. or rec. = record
 CB = chord bearing
 CH = chord length
 R = radius
 L = arc length
 N = North
 S = South
 E = East
 W = West
 S.F. = square feet

Project No. 70-1193

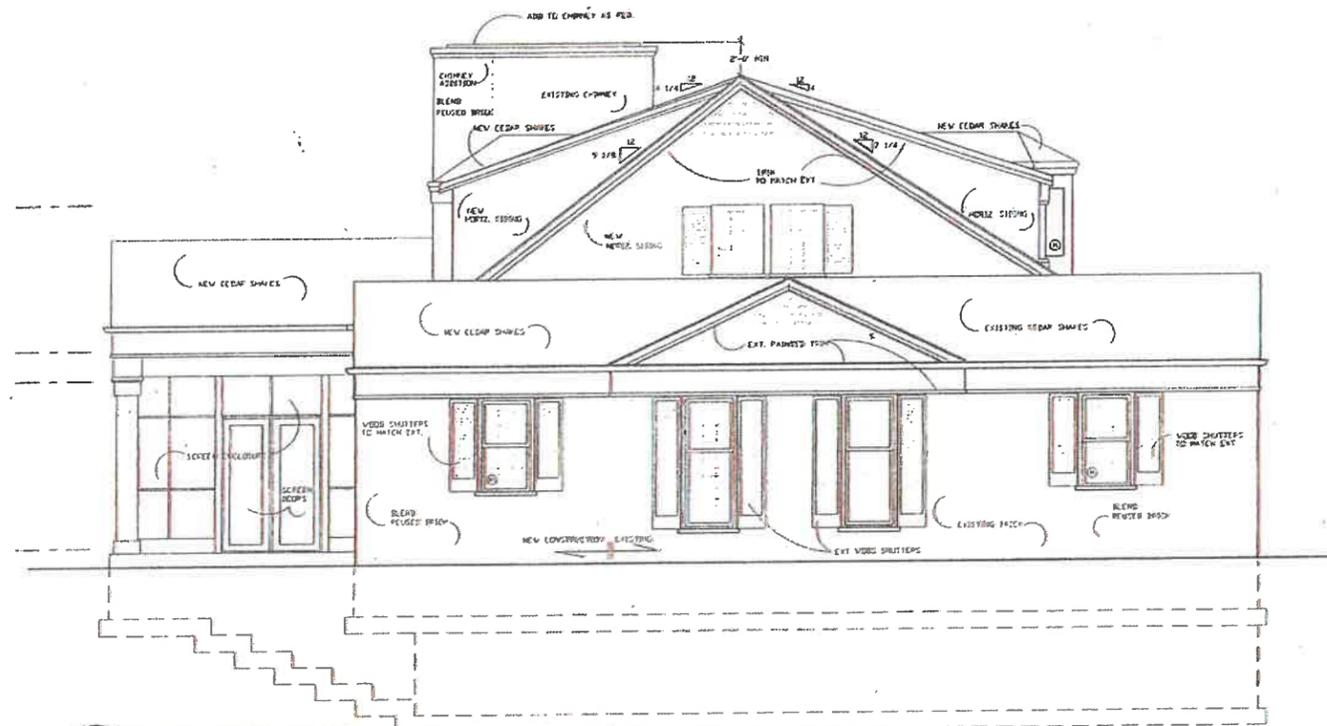
 Bleck Engineering Company, Inc.
 1375 North Western Avenue
 Lake Forest, Illinois 60045
 T 847.295.5200 F 847.295.7081
 www.bleckeng.com



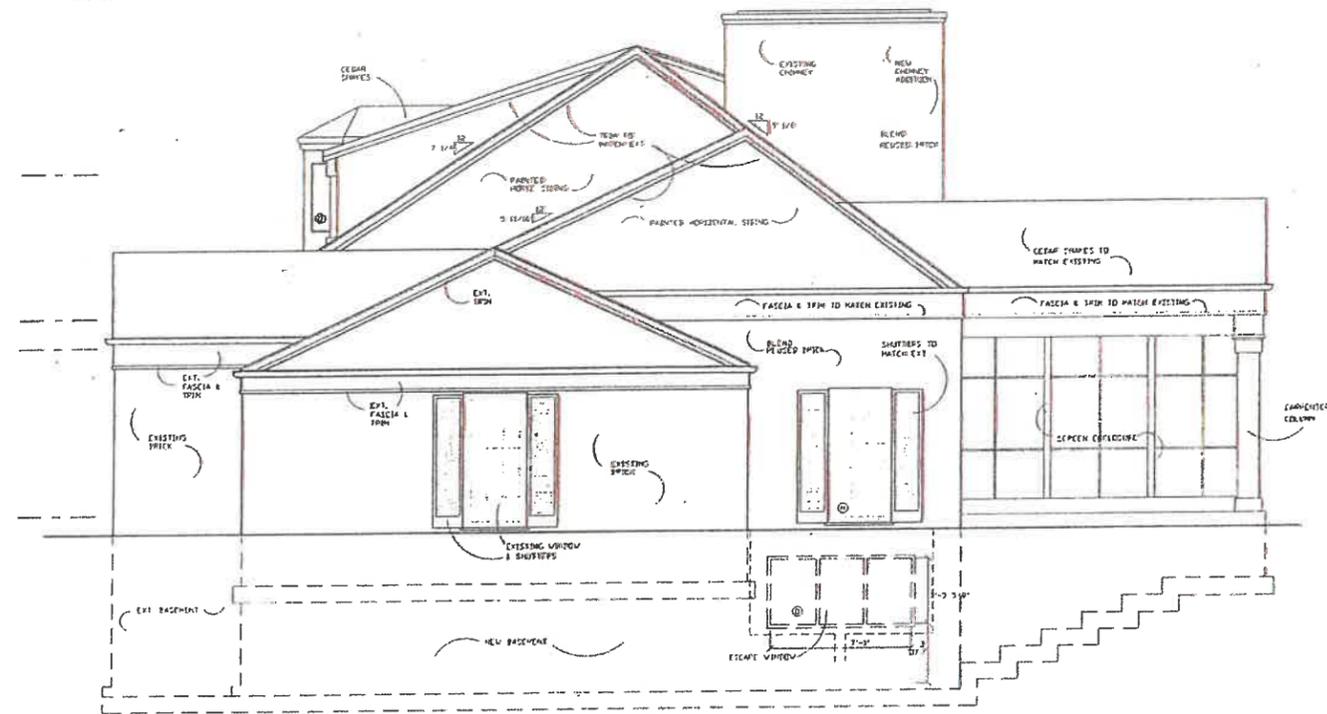
PROPOSED SITE PLAN
1"=40'-0"

THE HAGSTROM RESIDENCE
701 SPRING LN. LP

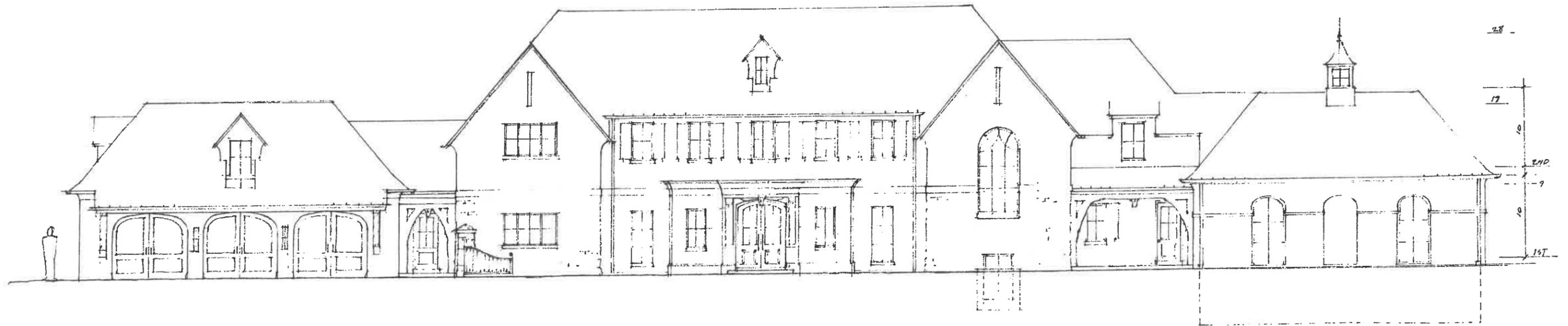
© STREIGHTIFF
555 OAKWOOD LP
6.15.21



1 SOUTH ELEVATION
10 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
10 SCALE: 1/4" = 1'-0"



PROPOSED FRONT (EAST) ELEVATION 1/10/20

- THE HAGSTROM RESIDENCE -
701 SPRING LN. LP

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555 OAKWOOD LP
7.1.21

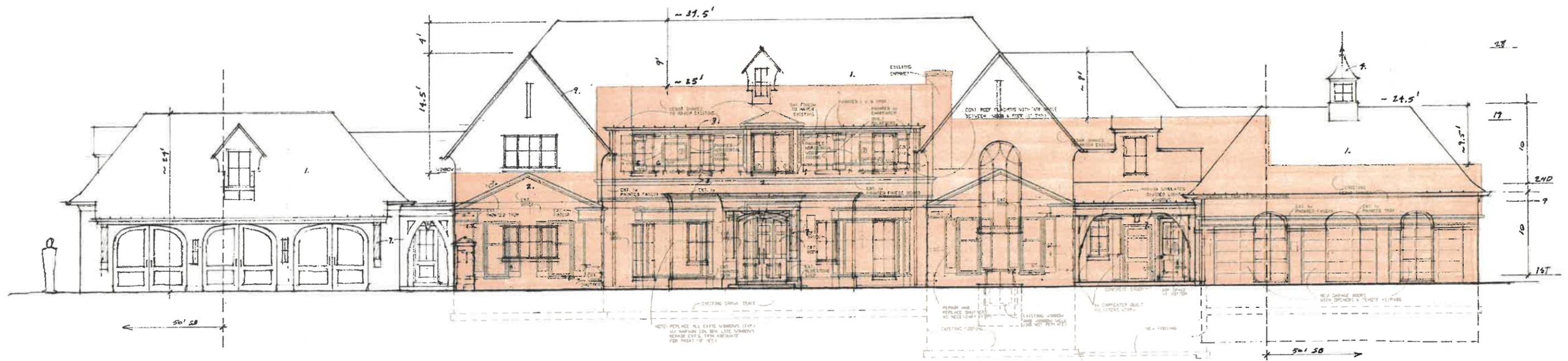


PROPOSED FRONT (EAST) ELEVATION 1/10/20

THE HAGSTROM RESIDENCE
901 SPRING LN. LP

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555 OAKWOOD LP
7-1-21

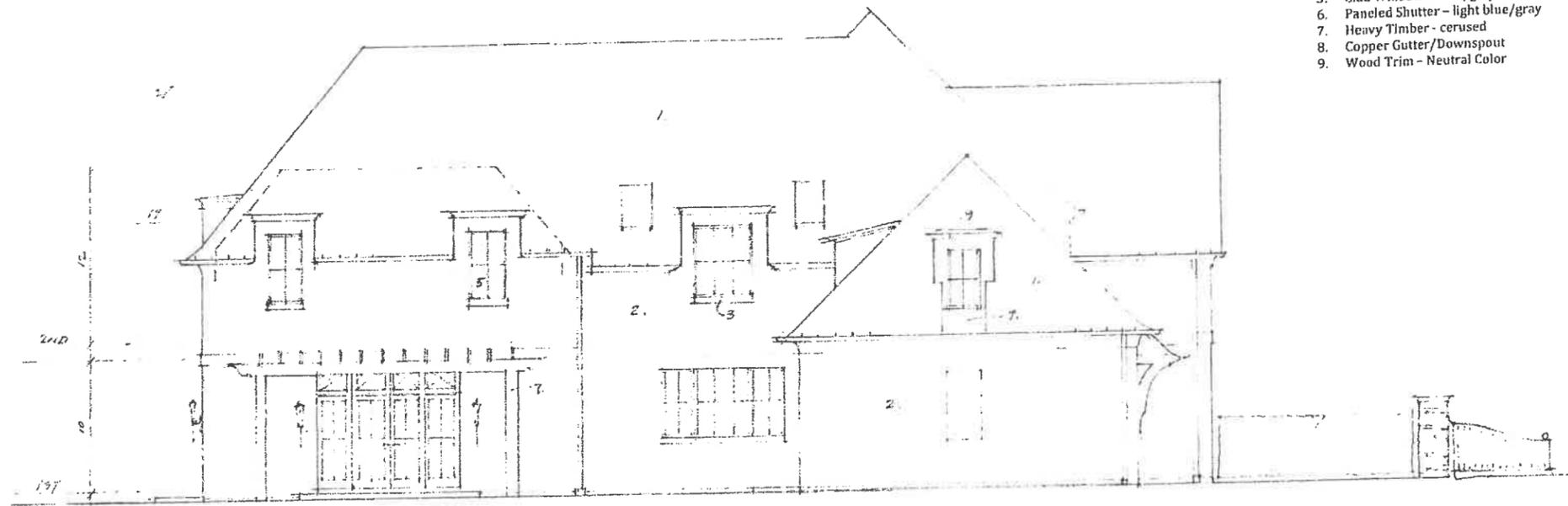
- Materials Key**
1. Cedar Shingle Roof
 2. Brick Veneer w/ Lime Wash
 3. Limestone
 4. Copper
 5. Clad Window - blue/gray
 6. Paneled Shutter - light blue/gray
 7. Heavy Timber - cerused
 8. Copper Gutter/Downspout
 9. Wood Trim - Neutral Color



PROPOSED FRONT (EAST) ELEVATION
1/20/20

THE HAGSTROM RESIDENCE
901 SPRING LN. LF

STREIGHTIFF LLC
555 OAKWOOD LF
9.27.21

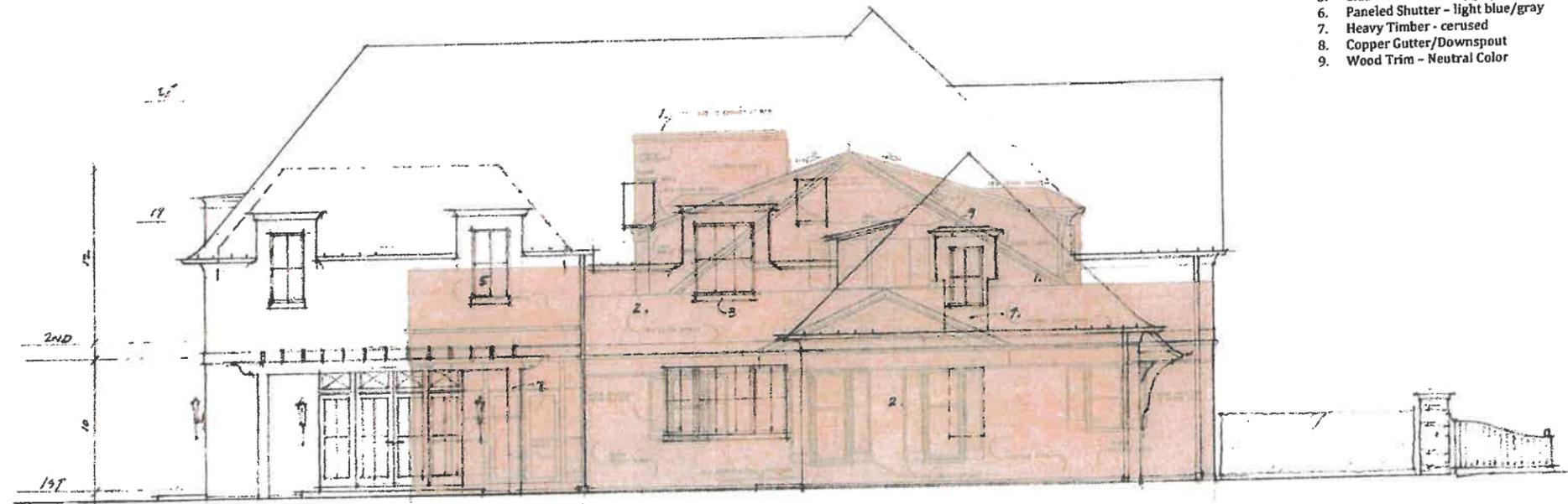


- Materials Key**
- 1. Cedar Shingle Roof
 - 2. Brick Veneer w/ Lime Wash
 - 3. Limestone
 - 4. Copper
 - 5. Clad Window - blue/gray
 - 6. Paneled Shutter - light blue/gray
 - 7. Heavy Timber - cerused
 - 8. Copper Gutter/Downspout
 - 9. Wood Trim - Neutral Color

PROPOSED SOUTH ELEVATION

THE HAGSTROM RESIDENCE
901 SPRING LN. LF

BY NEIGH7IFF LLC
555 BARKWOOD LF
7.28.21



Materials Key

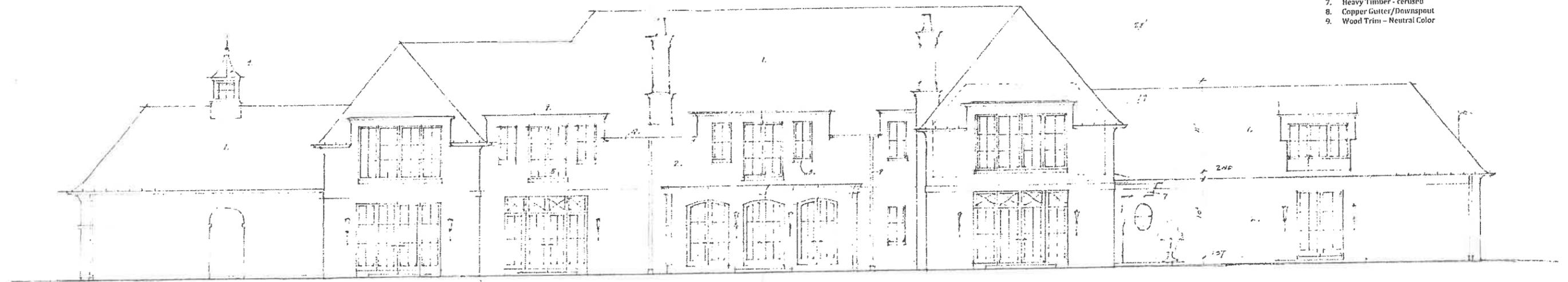
- 1. Cedar Shingle Roof
- 2. Brick Veneer w/ Lime Wash
- 3. Limestone
- 4. Copper
- 5. Clad Window - blue/gray
- 6. Paneled Shutter - light blue/gray
- 7. Heavy Timber - cerused
- 8. Copper Gutter/Downspout
- 9. Wood Trim - Neutral Color

PROPOSED SOUTH ELEVATION 1/8" = 1'-0"

~ THE HAGSTROM RESIDENCE ~
701 SPRING LN. LF

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555 OAKWOOD LF
7.28.21

PROPOSED WEST ELEVATION



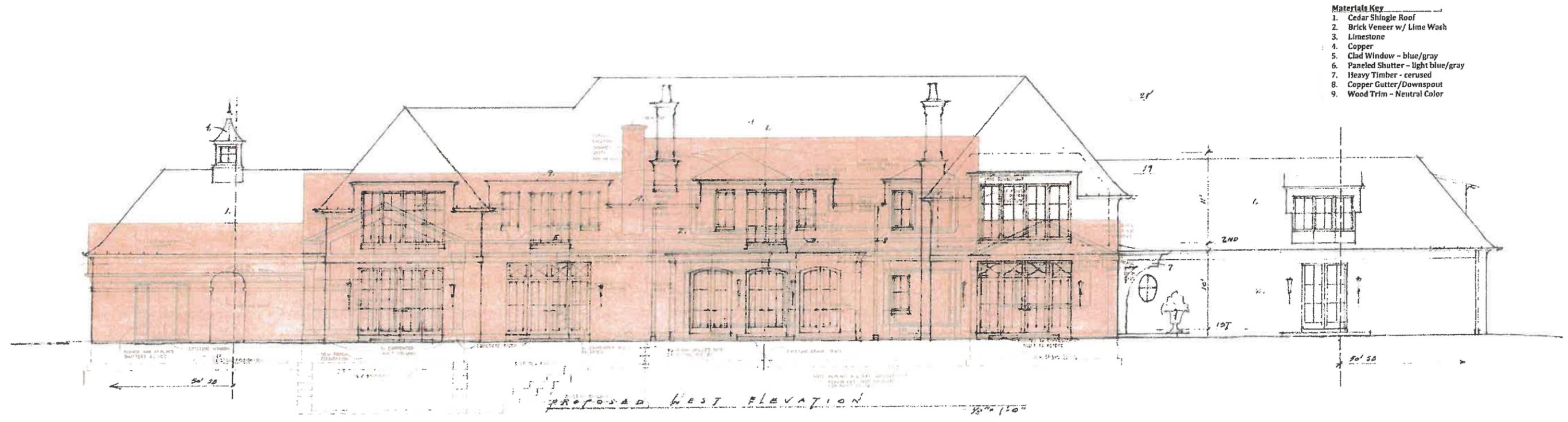
- Materials Key**
- 1. Cedar Shingle Roof
 - 2. Brick Veneer w/ Lime Wash
 - 3. Limestone
 - 4. Copper
 - 5. Clad Window - blue/gray
 - 6. Paneled Shutter - light blue/gray
 - 7. Heavy Timber - cerused
 - 8. Copper Gutter/Downspout
 - 9. Wood Trim - Neutral Color

PROPOSED WEST ELEVATION

2012.12

THE HANCOCK ARCHITECTS
701 BENTLEY LN
LE

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555 DANWOOD
LE
7.21.11

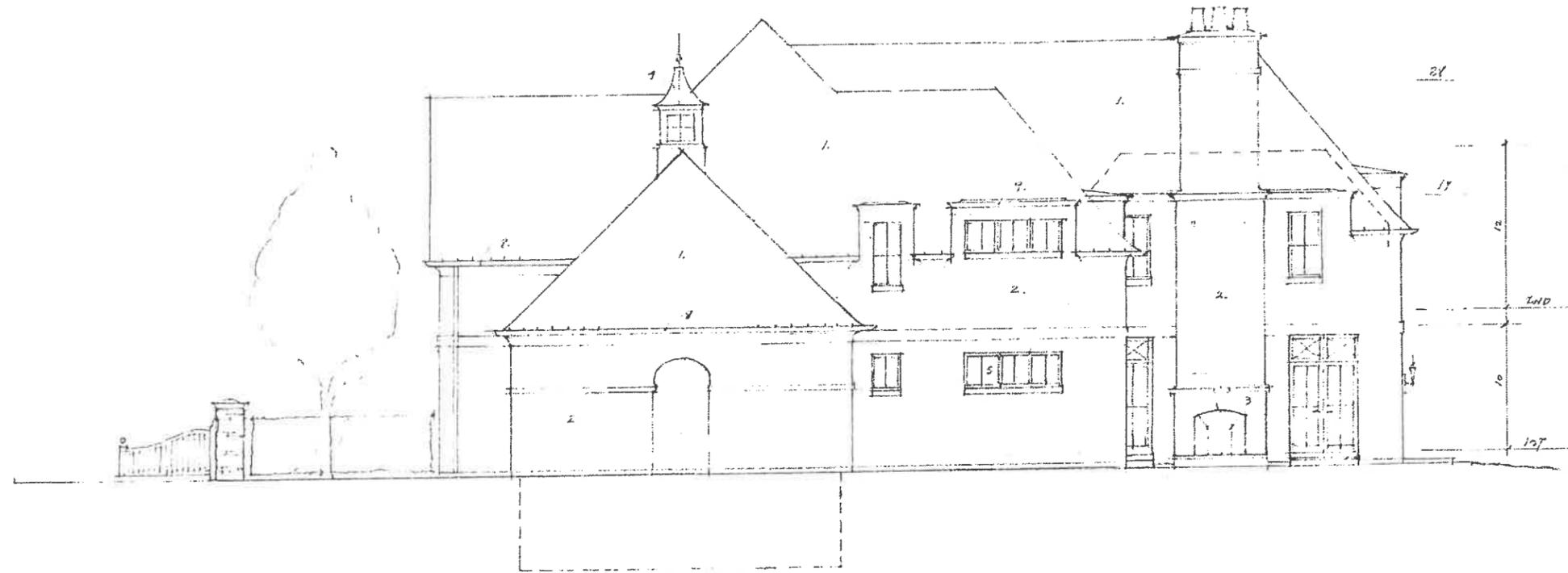


- Materials Key**
- 1. Cedar Shingle Roof
 - 2. Brick Veneer w/ Lime Wash
 - 3. Limestone
 - 4. Copper
 - 5. Clad Window - blue/gray
 - 6. Paneled Shutter - light blue/gray
 - 7. Heavy Timber - cerused
 - 8. Copper Gutter/Downspout
 - 9. Wood Trim - Neutral Color

~ THE HAGSTROM RESIDENCE ~
 701 SPRING LN
 LP

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 558 OAKWOOD LP
 7.27.21

PROPOSED NORTH ELEVATION

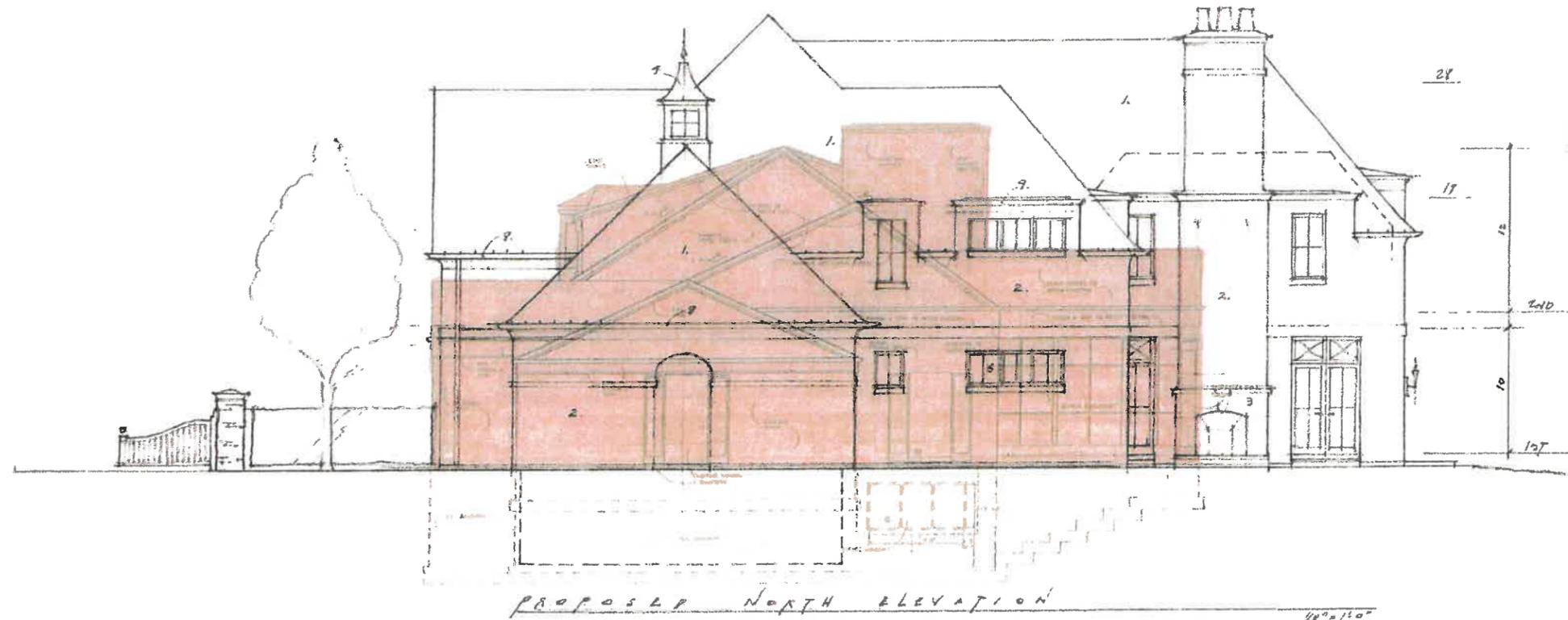


- Materials Key**
- 1. Cedar Shingle Roof
 - 2. Brick Veneer w/ Lime Wash
 - 3. Limestone
 - 4. Copper
 - 5. Clad Window - blue/gray
 - 6. Paneled Shutter - light blue/gray
 - 7. Heavy Timber - cerused
 - 8. Copper Gutter/Downspout
 - 9. Wood Trim - Neutral Color

PROPOSED NORTH ELEVATION

~ THE HAGSTROM RESIDENCE ~
 701 SPRING LN. IP

STRAIGHTLINE LLC
 555 OAKWOOD LF
 7-28-21

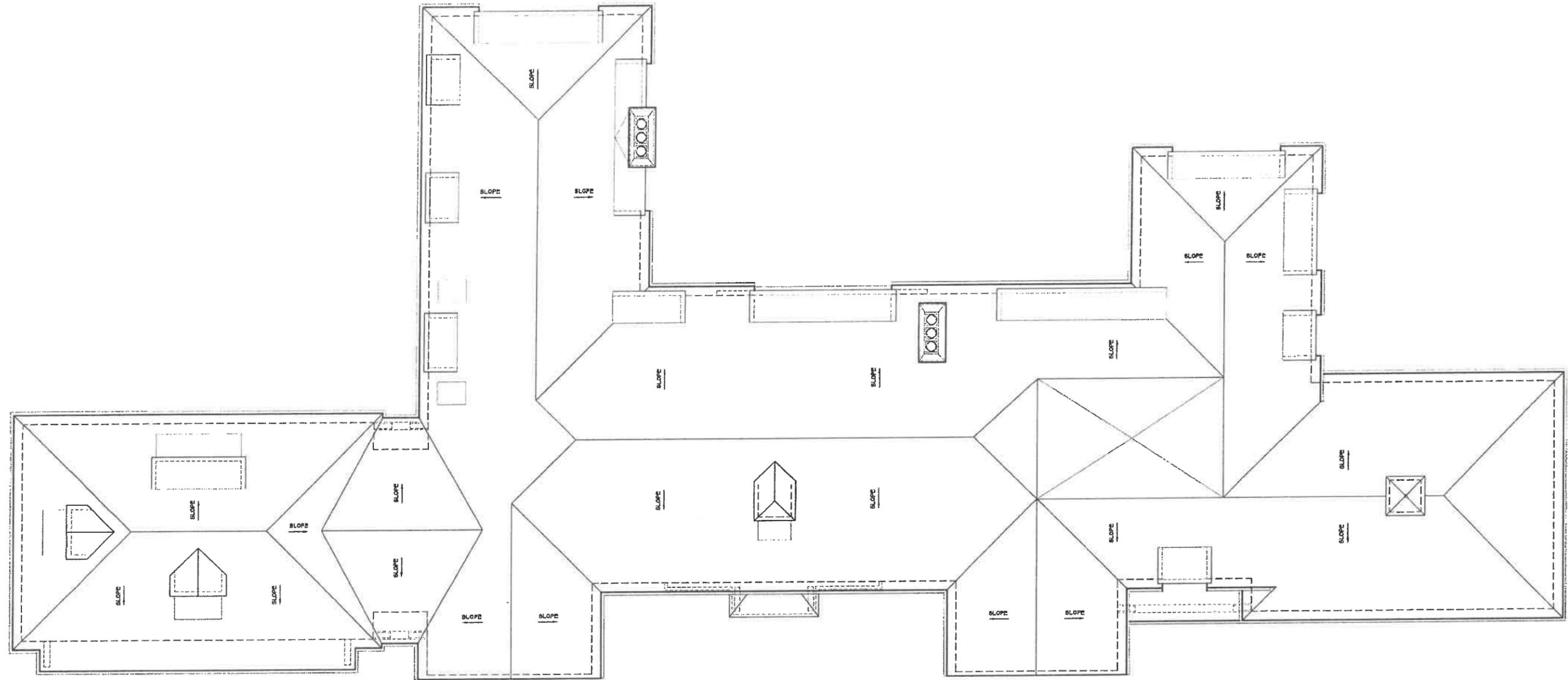


- Materials Key**
- 1. Cedar Shingle Roof
 - 2. Brick Veneer w/ Lime Wash
 - 3. Limestone
 - 4. Copper
 - 5. Clad Window - blue/gray
 - 6. Paneled Shutter - light blue/gray
 - 7. Heavy Timber - cerused
 - 8. Copper Gutter/Downspout
 - 9. Wood Trim - Neutral Color

~ THE HAGSTROM RESIDENCE ~
701 SPRING LN. IF

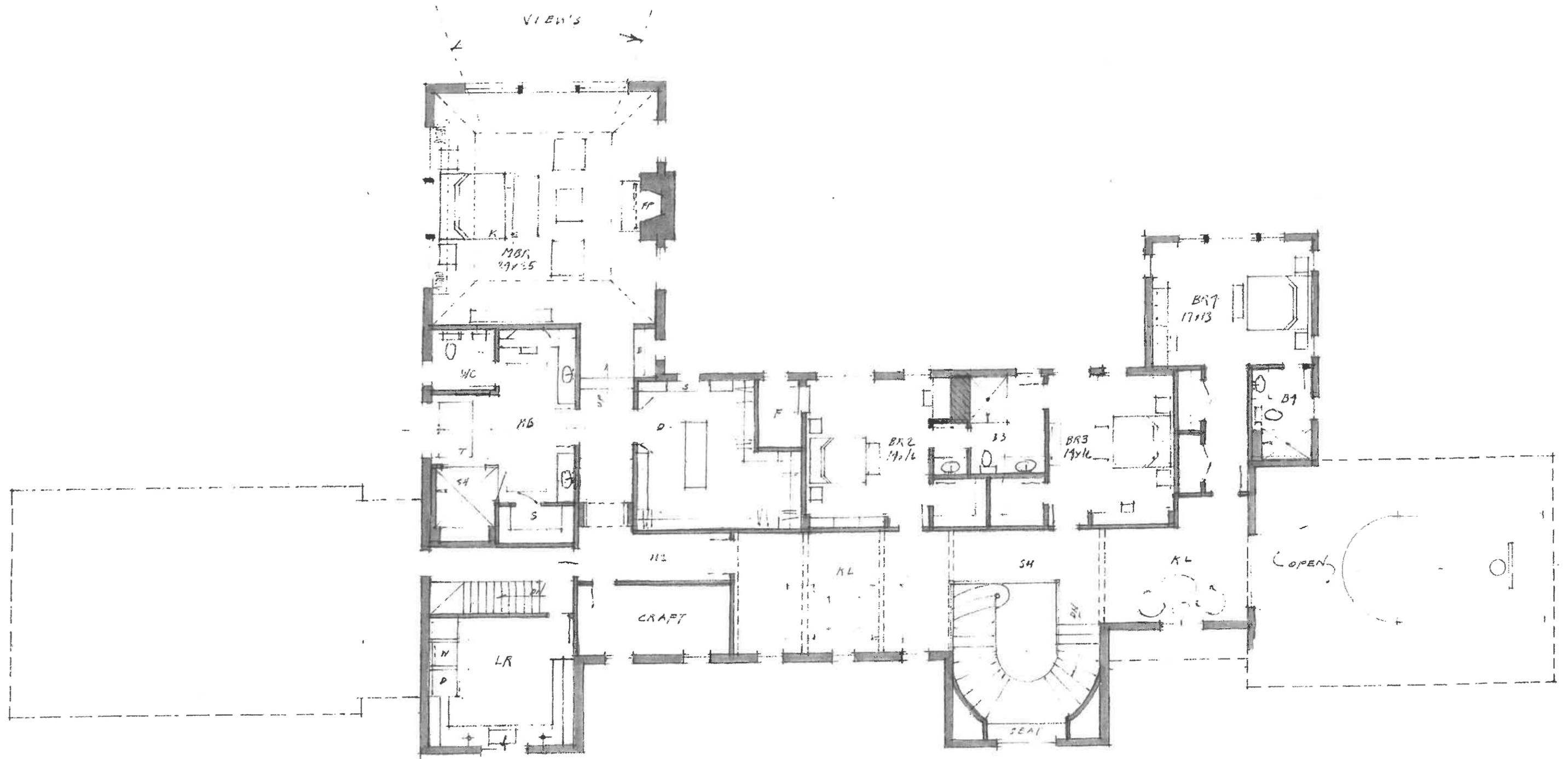
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556 OAKWOOD LF

7-28-21



1 PROPOSED ROOF PLAN

SCALE 3/16" = 1'-0"



SECOND FLOOR PLAN SCHEME B

THE HAGSTROM RESIDENCE
 901 SPRING LN. LF

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 555 OAKWOOD LF
 REV 6.1.21

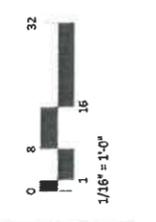
TAG #	SPECIES	DBH	CONDITION	NOTES
5	Norway Spruce	11	3	Good Condition
7	Magnolia	9	3	Double Lead
8	Hemlock	10	5	Severe Decline
9	Hemlock	9	4	Die-Back
10	Japanese Tree Lilac	25	4	Die-Back
11	Red Elm	34	3	Good Condition
12	Redbud	8	3	Interior Deadwood
13	Linden	32	3	Double Lead - Deadwood
14	Honey Locust	28	3	Multiple Leads - Large Deadwood
15	Japanese Tree Lilac	25	4	Die-Back
16	Japanese Tree Lilac	9	3	Good Condition
17	Pear	21	3	Hollow - Missing Top
18	Pear	15	3	Hollow - Missing Top
19	Pear	15	5	Hollow - Missing Top
20	Pear	33	5	Hollow - Missing Top
21	Japanese Tree Lilac	12	3	Good Condition
22	Hawthorn	10	3	Good Condition
23	Hawthorn	10	3	Good Condition
24	Hawthorn	10	3	Good Condition
25	Hawthorn	15	5	Good Condition
26	Hawthorn	10	3	Good Condition
27	Crabapple	13	5	Severe Decline
28	Hawthorn	10	3	Multiple Leads - Top Close To House
29	Hawthorn	13	3	Deadwood
30	Hawthorn	13	3	Deadwood
31	Hawthorn	8	5	Damaged Main Lead - One-Sided
32	Hawthorn	8	3	Good Condition
33	Hawthorn	8	3	Good Condition
34	Red Sunset Maple	8	3	Good Condition - Chronic
35	Red Sunset Maple	8	3	Good Condition - Chronic
36	Chinkapin Oak	7	3	Good Condition
37	Sugar Maple	19	3	Good Condition

Conditions (1) best - (5) dead ; Trees 8" above were tagged / Below-line Generally Pruned - Main-arms were not tagged ; 4.5-8" Green Giant Arborvitae in front were not tagged

David Taylor - JL-0403-A - 0221



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GENERAL NOTES:

CONSULTANTS:

DESIGNED BY:	PR, JK	DATE	ISSUE
DRAWN BY:	JK, EP		
REVISIONS:			

PROJECT:
Hagstrom Residence
 501 Spring Ln
 Lake Forest, IL





STREIGHTIFF



STREIGHTIFF




STEREIGHTIFF



STREIGHTIFF



STREICHLIFF



STREIGHTIFF



STREIGHTIFF



STREIGHTIFF